

**TULSA METROPOLITAN AREA PLANNING
COMMISSION**

Meeting No. 2704

August 19, 2015, 1:30 PM

**175 East 2nd Street, 2nd Level, One Technology Center
Tulsa City Council Chamber**

CONSIDER, DISCUSS AND/OR TAKE ACTION ON:

Call to Order:

REPORTS:

Chairman's Report:

Worksession Report:

Director's Report:

1. Minutes of August 5, 2015, Meeting No. 2703

CONSENT AGENDA:

All matters under "Consent" are considered by the Planning Commission to be routine and will be enacted by one motion. Any Planning Commission member may, however, remove an item by request.

2. **LS-20803** (Lot-Split) (County) – Location: South and East of the southeast corner of West 41st Street South and South 73rd West Avenue
3. **LC-693** (Lot-Combination) (CD 2) – Location: West of the northwest corner of West 57th Place South and South Union Avenue
4. **LS-20804** (Lot-Split) (CD 6) – Location: North of the northeast corner of East 11th Street South and South 161st East Avenue
5. **LC-694** (Lot-Combination) (CD 9) – Location: Southwest corner of East 41st Street South and South Rockford Avenue
6. **LS-20806** (Lot-Split) (CD 2) – Location: South of the southeast corner of East 101st Street South and South Delaware Avenue
7. **LC-216** (Termination of Declaration) (CD 4) – Location: West of the northwest corner of East 29th Street South and South Utica Avenue

8. **PUD-587-A-3 – Kevin Rea**, Location: North of the northeast corner of East 83rd Street South and South Urbana Avenue, requesting a PUD Minor Amendment to allow a ten-foot high wall in the rear yard, **RS-3/PUD-587-A**, (CD-8)
9. **Z-7164-SP-1 – Texas Roadhouse/Douglas Druen**, Location: South of the southwest corner of West 81st Street South and South Olympia Avenue, requesting a Corridor Detail Site Plan for a new restaurant facility, **CO/Z-7164-SP-1**, (CD-2)

CONSIDERATION OF ITEMS REMOVED FROM THE CONSENT AGENDA:

PUBLIC HEARINGS:

10. **Open Arms Child Development Center –** Minor Subdivision Plat, Location: North of the northeast corner of East 51st Street South and South 177th East Avenue, (CD 6)
11. **Village Congregation –** Preliminary Plat, Location: West of the northwest corner of West 91st Street South and South Union Avenue, (CD 2)
12. **Jenks Northwest Elementary –** Preliminary Plat, Location: North of the northeast corner of West 81st Street South and South Elwood Avenue, (CD 2)
13. **Tulsa Senior Living Center –** Preliminary Plat, Location: West of southwest corner of East 81st Street South and South Garnett Road, (CD 7)
14. **PUD 271 H –** Plat Waiver, Location: Southeast corner of South 129th East Avenue and 43rd Place South, (CD 6)
15. **Z-7310 – Tim Terral**, Location: Northwest corner of East 49th Street and South Peoria Avenue, requesting rezoning from **RS-3/OL to OL**, (CD-9)
16. **PUD-837 – Tim Terral**, Location: Northwest corner of East 49th Street and South Peoria Avenue, requesting PUD for off-street parking, **RS-3/OL to OL/PUD**, (CD-9)
17. **PUD – 837 –** Plat Waiver, Location: Northwest corner of East 49th Street South and South Peoria Avenue, (CD 9)
18. **PUD-838 – Planscape Partners**, Location: Southeast corner of South Harvard Avenue and East 16th Street, requesting a PUD to allow reduction of the building setback lines and improved design standards for site redevelopment supporting Main Street land use designation, **CS TO CS/PUD-838**, (CD-4)
19. **CZ-442 – Tanner Consulting, LLC/Jessica Shelton**, Location: South of southeast corner of West 111th Street and South 33rd West Avenue, requesting rezoning from **AG to RE**, (County)

20. **PUD-839 - Tanner Consulting, LLC/Jessica Shelton**, Location: South of southeast corner of West 111th Street and South 33rd West Avenue, requesting a PUD to develop a tract with public streets providing greater flexibility with lot land development standards than RE zoning allows, **AG to RE/PUD**, (County)

OTHER BUSINESS

21. **Consider adopting amendment to Policies and Procedures of TMAPC**
22. **Commissioners' Comments**

ADJOURN

CD = Council District

NOTE: If you require special accommodation pursuant to the Americans with Disabilities Act, please notify INCOG (918) 584-7526. Exhibits, Petitions, Pictures, etc., presented to the Planning Commission may be received and deposited in case files to be maintained at Land Development Services, INCOG. Ringing/sound on all cell phones and paggers must be turned off during the Planning Commission.

Visit our website at www.tmapc.org

TMAPC Mission Statement: The Mission of the Tulsa Metropolitan Area Planning Commission (TMAPC) is to provide unbiased advice to the City Council and the County Commissioners on development and zoning matters, to provide a public forum that fosters public participation and transparency in land development and planning, to adopt and maintain a comprehensive plan for the metropolitan area, and to provide other planning, zoning and land division services that promote the harmonious development of the Tulsa Metropolitan Area and enhance and preserve the quality of life for the region's current and future residents.

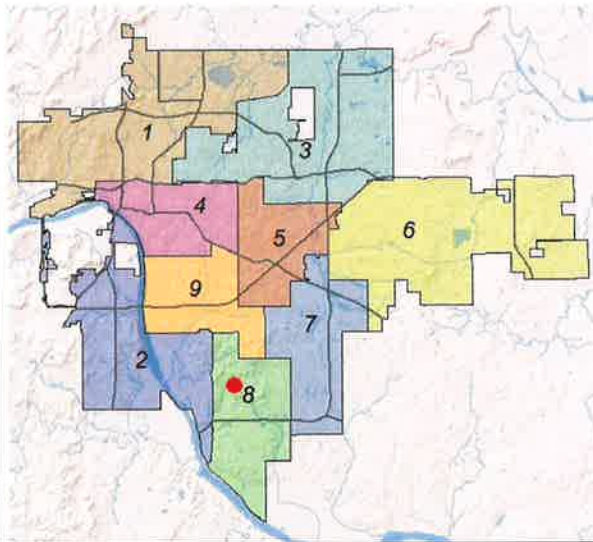


Case Number: PUD-587-A-3
Minor Amendment
Hearing Date: August 19, 2015

Case Report Prepared by:
 Jay Hoyt

Owner and Applicant Information:
 Applicant: Kevin Rea
 Property Owner: Mark & Linda Stephenson

Location Map:
 (shown with City Council Districts)



Applicant Proposal:
 Concept summary: PUD minor amendment to allow a 10 ft high wall in the rear yard.
 Gross Land Area: 0.21 acres
 Location: North of the NE/c of East 83rd Street South & South Urbana Avenue
 8219 South Urbana Avenue
 Lot 5, Block 2 Walden Pond

Zoning:
 Existing Zoning: RS-3/PUD-587-A
 Proposed Zoning: No Change

Staff Recommendation:
 Staff recommends **approval**.

Comprehensive Plan:
 Land Use Map: Existing Neighborhood
 Growth and Stability Map: Stability

Staff Data:
 TRS: 8316
 CZM: 52 Atlas: 1420

City Council District: 8
Councilor Name: Phil Lakin
County Commission District: 3
Commissioner Name: Ron Peters

8.1

SECTION I: PUD-587-A-3 Minor Amendment

STAFF RECOMMENDATION

Amendment Request: Modify the PUD to allow a 10 ft high wall in the rear yard.

Walls in the rear yard are limited to 8 feet in height. The applicant is proposing to increase this to 10 feet for Lot5, Block 2 to permit a masonry wall as illustrated on the applicant's wall detail exhibit.

Staff Comment: This request can be considered a Minor Amendment as outlined by Section 1107.H.13 PUD Section of the City of Tulsa Zoning Code.

"Modifications to approved screening and landscaping plans, provided the modification is not a substantial deviation from the original approved plan."

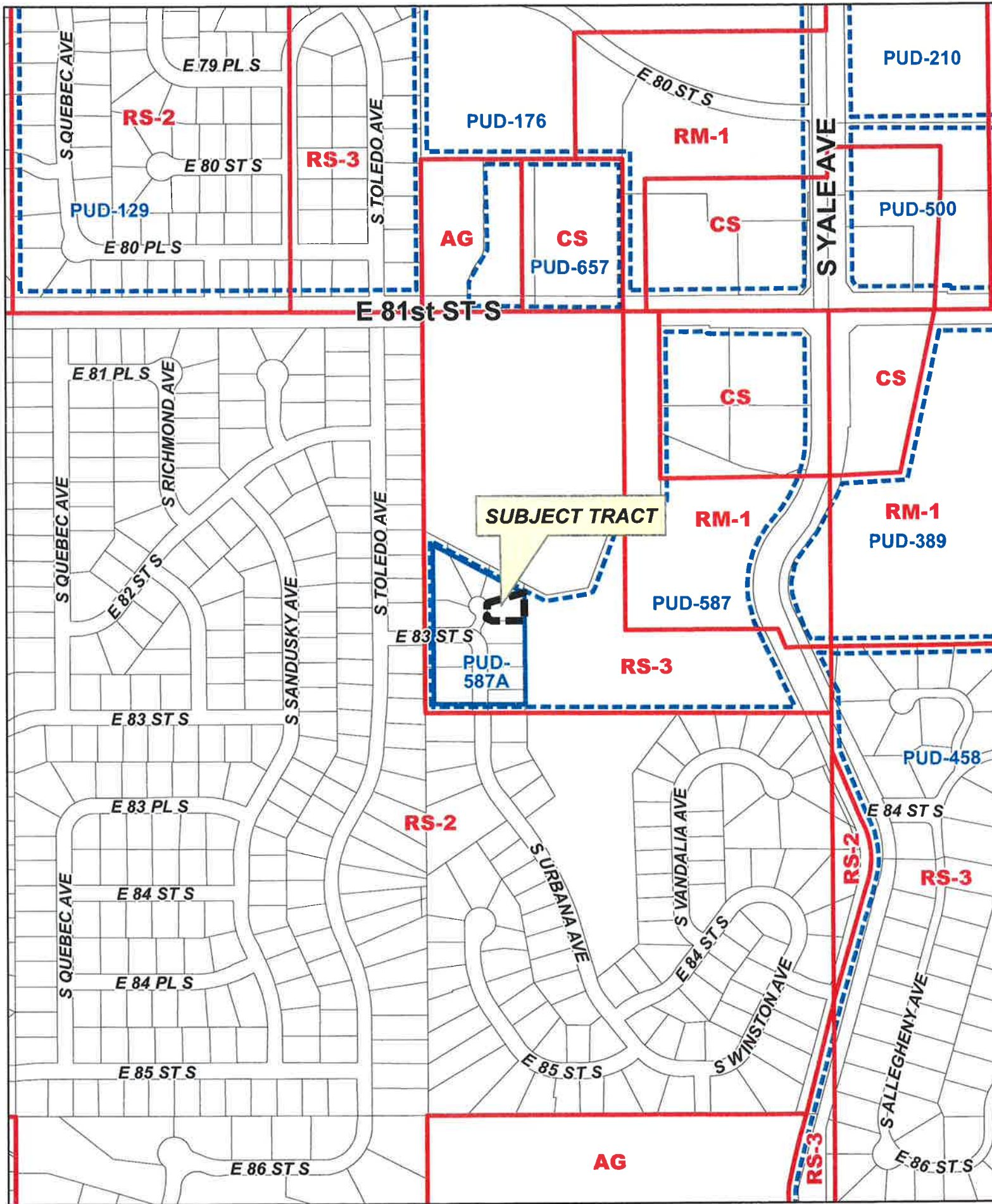
Staff has reviewed the request and determined:

- 1) The requested amendment does not represent a significant departure from the approved development standards in the PUD.
- 2) All remaining development standards defined in PUD-587-A and subsequent minor amendments shall remain in effect.

Exhibits included with staff recommendation:

INCOG zoning case map
INCOG aerial photo
INCOG aerial photo (enlarged)
Applicant Wall Detail Exhibit

With considerations listed above, staff recommends **approval** of the minor amendment request to allow a 10 ft high wall in the rear yard.



SUBJECT TRACT

PUD-587-A-3

8.3





Subject
Tract

PUD-587-A-3

18-13 16

Note: Graphic overlays may not align with physical features on the ground.

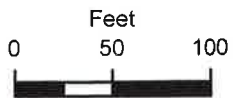
Aerial Photo Date: March 2014





E 83 ST S

S URBANA AVE



Subject Tract

PUD-587-A-3

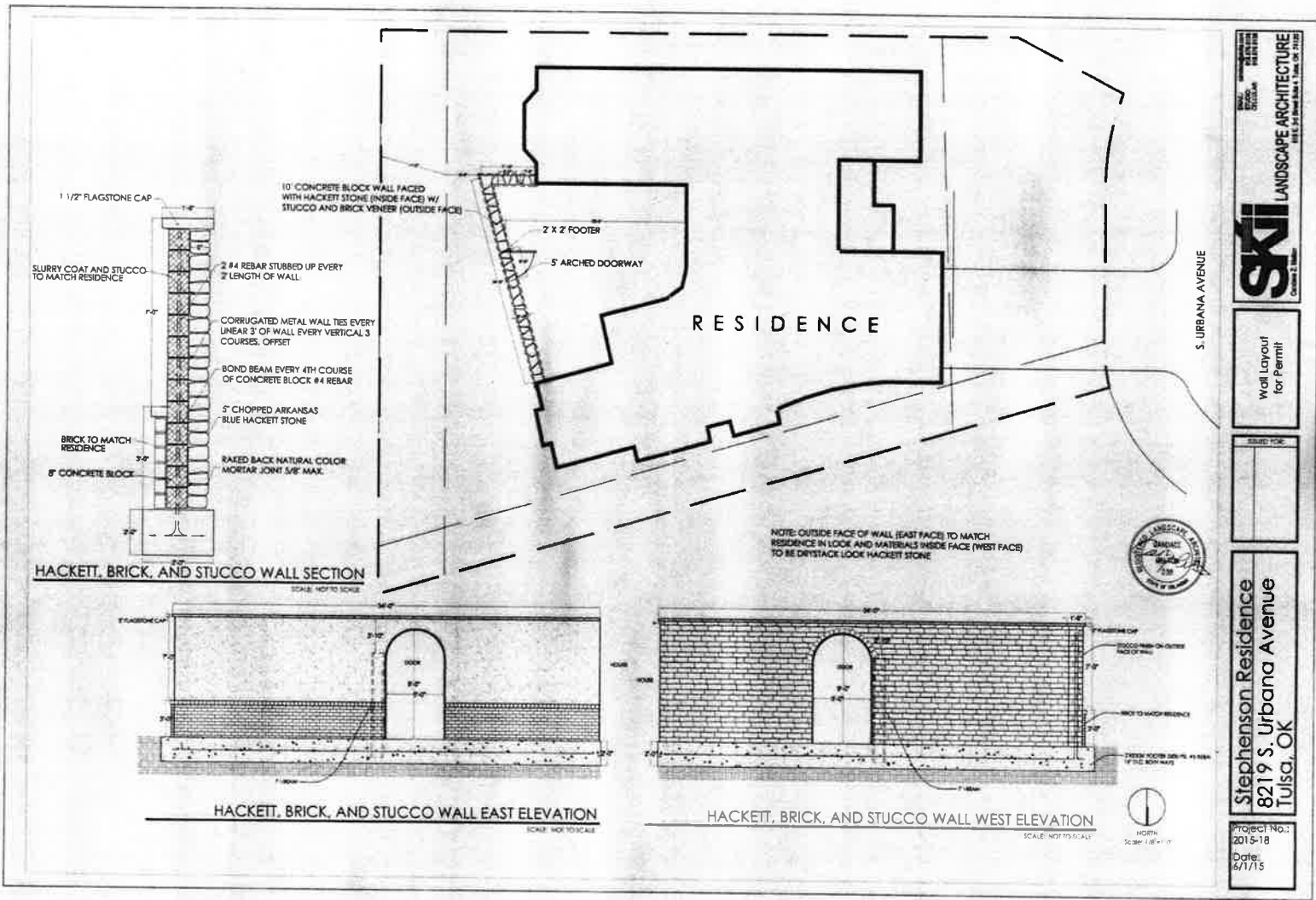
18-13 16

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: March 2014



8.9



LANDSCAPE ARCHITECTURE
S&L
www.sandl.com
1000 N. Wagon Wheel Rd.
Tulsa, OK 74104
Phone: 918.438.1111
Fax: 918.438.1112
COUNCIL OF ARCHITECTS
No. 1000

Wall Layout for Permit

SEAL FOR PERMIT

Stephenson Residence
8219 S. Urbana Avenue
Tulsa, OK

Project No.: 2015-18
Date: 6/1/15

www.sandl.com
1000 N. Wagon Wheel Rd.
Tulsa, OK 74104
Phone: 918.438.1111
Fax: 918.438.1112



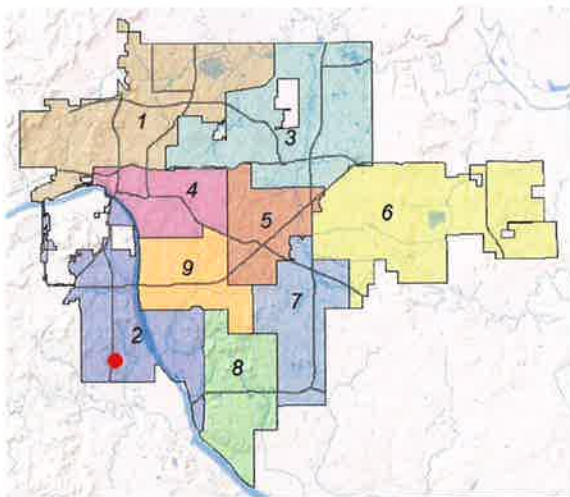
Case Number: Z-7164-SP-1
Detail Site Plan

Hearing Date: August 19, 2015

Case Report Prepared by:
 Jay Hoyt

Owner and Applicant Information:
 Applicant: Texas Roadhouse – Douglas Druen
 Property Owner: Walk at Tulsa Hills c/o The Parkes Companies

Location Map:
 (shown with City Council Districts)



Applicant Proposal:

Detailed Site Plan:
 Plan represents details for a new restaurant facility in a Corridor District.
 Gross Land Area: 2.3 Acres
 Location: South of the SW/c of West 81st Street South and South Olympia Avenue

Zoning:
 Existing Zoning: CO/Z-7164-SP-1
 Proposed Zoning: No Change

Comprehensive Plan:
 Land Use Map: Neighborhood Center
 Growth and Stability Map: Growth

Staff Recommendation:
 Staff recommends **APPROVAL**.

Staff Data:
 TRS: 18-12-14
 CZM: 51 Atlas: 887

City Council District: 2
Councilor Name: Jeannie Cue
County Commission District: 2
Commissioner Name: Karen Keith

9.1

SECTION I: Z-7164-SP-1 Detailed Site Plan

STAFF RECOMMENDATION

CONCEPT STATEMENT:

The applicant is requesting detail site plan approval on a 2.3 Acre site in a Corridor District for a new restaurant including one, one story building.

PERMITTED USES:

Uses permitted as a matter of right are Use Units 1, Area Wide Uses by Right; 10, Off Street Parking; 11, Offices and Studies, Including Drive-Thru Banking Facilities; 12, Entertainment and Eating Establishments, Other Than Drive-Ins; 13, Convenience Goods and Services; 14, Shopping Goods and Services; 15, Other Trade and Services, Limited to Dry Cleaning, Computer Repair, Data Processing Machine Repair and Electrical Repair Service; 18, Drive-In Restaurants; 19, Hotel, Motel and Recreational Facilities, Limited to Gymnasium, Motion Picture Theater (Enclosed) Health Club/Spa and Swimming Pool; 21, Limited to Private Streets, Service Roads, Storm Water Drainage, Storm Detention Facilities, Water Cisterns, Water Features, Wind Turbines and Open Spaces. The restaurant proposed for this project are allowed by right.

DIMENSIONAL REQUIREMENTS:

The submitted site plan meets all applicable building height, floor area, density, open space, and setback limitations. No modifications of the previously approved Corridor Development Plan are required for approval of this site plan.

ARCHITECTURAL GUIDELINES:

The new building meets all applicable architectural guidelines in the Corridor Development Plan.

OFF-STREET PARKING AND VEHICULAR CIRCULATION:

The site plan meets the minimum parking defined in the Tulsa Zoning Code and the Corridor Development Plan.

LIGHTING:

Site lighting plans are provided. Site lighting, including building mounted shall not exceed 35 ft in height. All site lighting shall be hooded and directed downward and away from the east and south boundaries of the project to the extent that light producing elements and reflectors will not be visible to a person standing at ground level within abutting residential districts or residentially used property.

SIGNAGE:

The site plan illustrates wall sign locations. Any new signage will require a separate permit. All signage will be required to meet the Corridor Development Plan Standards. Any ground or monument signs placed in an easement will require a license agreement with the City prior to receiving a sign permit. This staff report does not remove the requirement for a separate sign plan review process.

SITE SCREENING AND LANDSCAPING:

The open space, landscape area and screening are consistent with the Corridor Development Plan requirements and meet the minimum standards of the Landscape portion of the Tulsa Zoning Code. This staff report does not remove the requirement for a separate landscape plan review process.

PEDESTRIAN ACCESS AND CIRCULATION:

The plan displays sidewalks along Olympia Avenue as well as internal pedestrian paths from the lot to the north to the proposed buildings and also adjacent to the proposed building.

MISCELLANEOUS SITE CONSIDERATIONS:

There are no concerns regarding the development of this area.

SUMMARY:

Staff has reviewed the applicant's submittal of the site plan as it relates to the approved **Z-7164-SP-1**. The site plan submittal meets or exceeds the minimum requirements of the Corridor Development Plan. Staff finds that the uses and intensities proposed with this site plan are consistent with the approved Corridor Development Plan, and the stated purposes of the Corridor Development Plan section of the Zoning Code.

Exhibits included with staff recommendation:

- INCOG zoning case map
- INCOG aerial photo
- Applicant Legal Description
- Applicant Exterior Elevations
- Applicant Demolition Plan
- Applicant Site Plan
- Applicant Grading and Drainage Plan
- Applicant ALTA Survey
- Applicant Site Lighting Plan

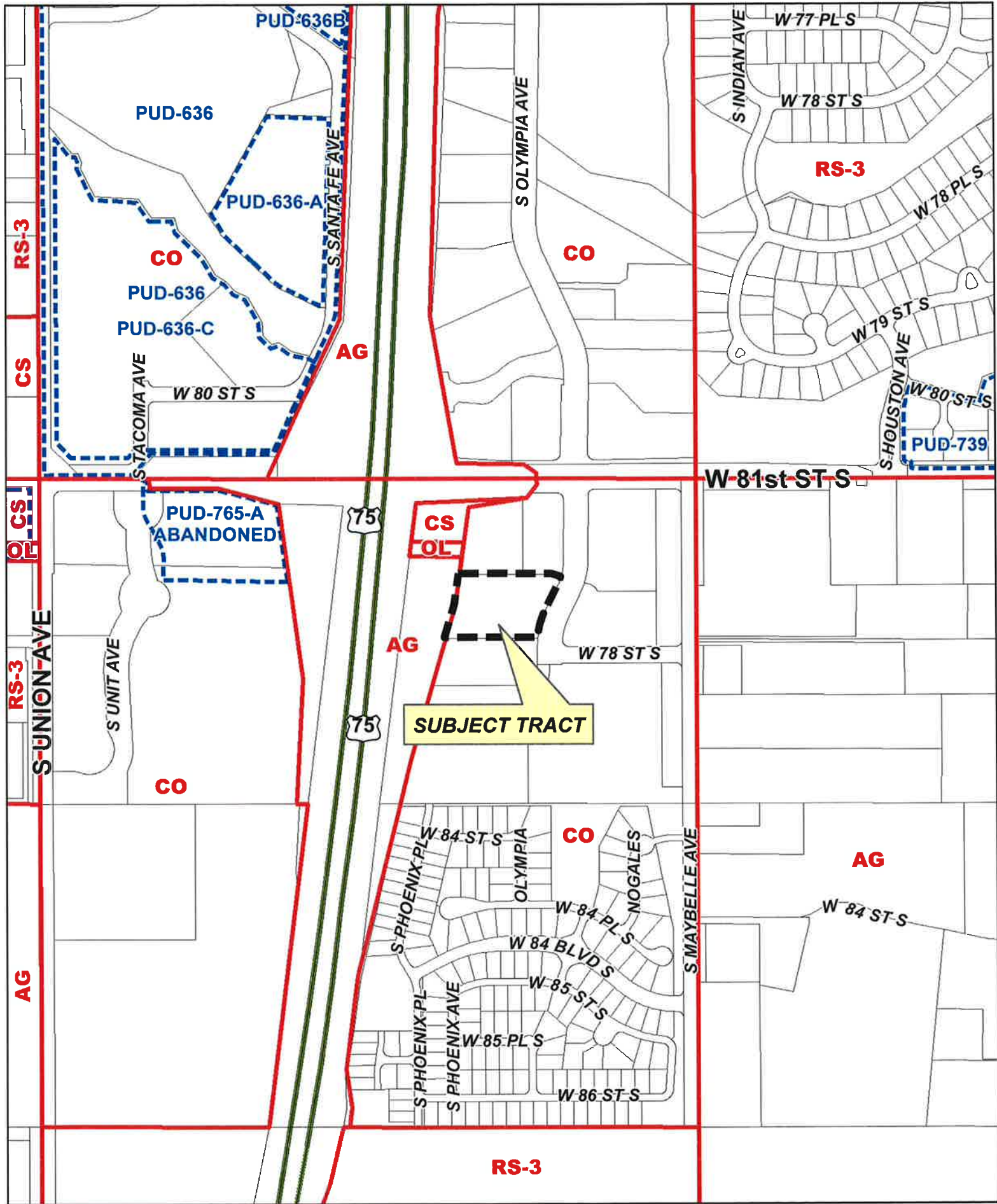
Staff recommends **APPROVAL** of the detail site plan for the proposed new restaurant.

(Note: Detail site plan approval does not constitute sign plan or landscape plan approval.)

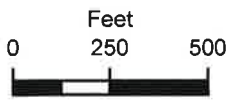
EXHIBIT "A-3"

LEGAL DESCRIPTION OF THE PREMISES

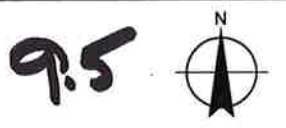
Lot 4 of that certain Final Plat of The Walk at Tulsa Hills prepared by Dodson Thompson Mansfield, PLLC and recorded on June 12, 2014 in the real estate records of the County Clerk of Tulsa County, Oklahoma as Plat Document No. 6543.

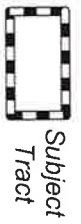


SUBJECT TRACT



Z-7164-SP-1 DSP





Subject
Tract

Z-7164-SP-1 DSP

18-12 14

Note: Graphic overlays may not precisely align with physical features on the ground.
Aerial Photo Date: March 2014





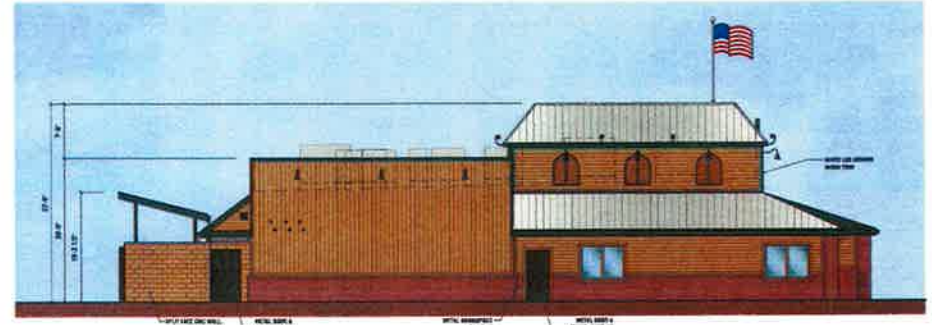
FRONT ELEVATION (EAST)



RIGHT ELEVATION (NORTH)



REAR ELEVATION (WEST)



LEFT ELEVATION (SOUTH)

EXTERIOR FINISH SCHEDULE			
SECTION/ITEM	DESCRIPTION	FINISH/ITEM	DESCRIPTION
WOOD SIDING, TRIM & BRICK SUELLING	PNC-FINISHED CEDAR HEMLOCK LUMBER CEDAR/STYRENE TOP 2"X4" EXTERIOR FORMER	METAL SIDING AND FLASHING	PAINT #1: SHERWIN WILLIAMS PAVEL BLACK BLACK
FRONT ENTRANCE SIDING	METAL DOUBLE (PINK WOOD) CASH OAK "MADISON" 12-48	BRICK VENEER	CLAYTICK OLD BRICK
TRIM, METAL FLASHING AND GUTTERS	PAINT #1 SHERWIN WILLIAMS PAVEL GREEN	TRIM VENEER (ALTERNATE)	GENERAL BUILD PAVEMENT CRAB
CHIMNEYPART & SPLIT FACE CURB	PAINT #2: SHERWIN WILLIAMS PAVEL #2108 "MADAME" FINISH COLOR TO MATCH PRE-DESIGNED CURB	METAL ROOF	METAL CEILING 60-CRIMP, GALVALUME
		SHUTTERS GATES & BOLLARDS	PAINT #2: SHERWIN WILLIAMS PAVEL BLACK BLACK

DISCLAIMER NOTE:
THE COLORS SHOWN ON THESE ELEVATIONS ARE FOR GRAPHIC REPRESENTATION PURPOSES ONLY. PLEASE REFER TO MATERIAL SAMPLES FOR ACTUAL SAMPLE OF COLORS AND TEXTURES.



9.7

PROPOSED LEGEND:

- PROPERTY LINE
- ===== PROPOSED CONCRETE CURB AND GUTTER
- ===== PROPOSED REVERSE PITCH CURB AND GUTTER (RPG)
- ===== PROPOSED RECESSED CURB AND GUTTER
- PROPOSED PARKING STALL COURT
- PROPOSED CONCRETE WHEEL STOP
- PROPOSED SIGN
- PROPOSED Pylon SIGN
- PROPOSED LIGHT POLE
- PROPOSED STORM SEWER STRUCTURES
- PROPOSED SANITARY SEWER STRUCTURES
- PROPOSED SANITARY SEWER GRADE INTERCEPTOR
- PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- PROPOSED GATE VALVE AND VALVE BOX
- PROPOSED TRANSFORMER PAD AND STEEL BOLLARDS
- PROPOSED GAS METER
- PROPOSED ELECTRIC METER, CT CABINET AND DISCONNECT

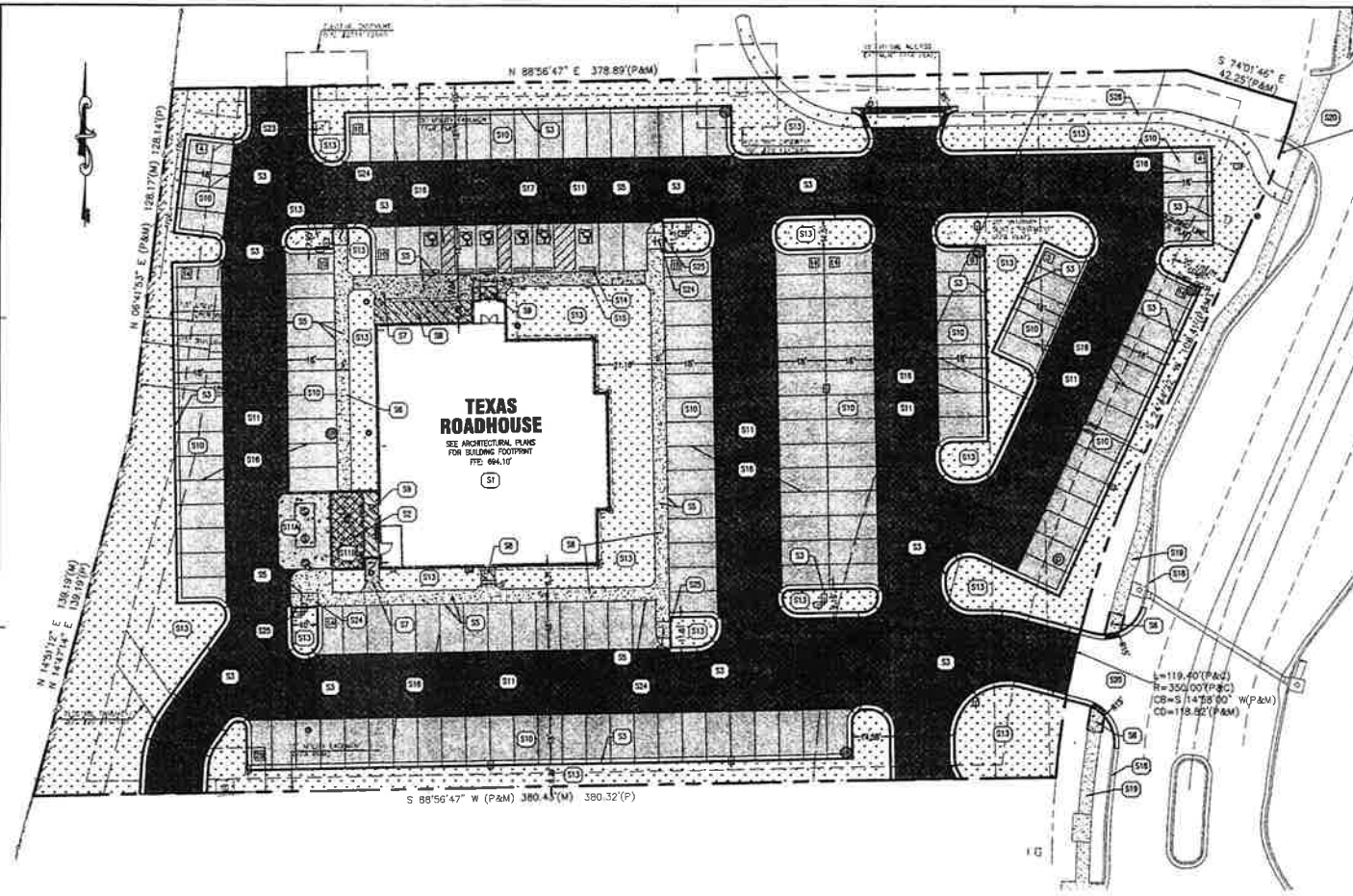
NOTE: SEE GENERAL NOTES SHEET C1.0 FOR EXISTING LEGEND

SITE PLAN NOTES:

- REFER TO THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY TERRACON CONSULTANTS, INC. AND DATED MAY 27, 2015 FOR ADDITIONAL INFORMATION REGARDING THE EXISTING SOIL CONDITIONS AND SUBGRADE PREPARATION REQUIREMENTS AND PROPOSED PAVEMENT RECOMMENDATIONS (TERRACON PROJECT NO. 04150306).
- SEE CONSTRUCTION DETAILS SHEET C7.0 FOR PAVEMENT SECTION DETAILS.
- SEE GENERAL NOTES SHEET C1.0 FOR EXISTING LEGEND.

PAVEMENT HATCH LEGEND:

- 26 PROPOSED CONCRETE SIDEWALK
 3" PORTLAND CEMENT CONCRETE
 4" AGGREGATE BASE (0007 TYPE A)
- 27 PROPOSED INTEGRAL BLACK HEAVY DUTY CONCRETE
 5" PORTLAND CEMENT CONCRETE
 4" AGGREGATE BASE (0007 TYPE A)
- 28 PROPOSED CONCRETE LANDING
 4" PORTLAND CEMENT CONCRETE WITH 6X6 W2.9X12.9 WWF
 4" AGGREGATE BASE (0007 TYPE A)
 (SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- 29 PROPOSED INTEGRAL BLACK COLORED CONCRETE LANDING
 4" PORTLAND CEMENT CONCRETE WITH 6X6 W2.9X12.9 WWF
 4" AGGREGATE BASE (0007 TYPE A)
 (SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- 30 PROPOSED ASPHALT PAVEMENT
 3" SURFACE COURSE (TYPE "C" ASPHALTIC CONCRETE)
 8" AGGREGATE BASE (0007 TYPE A)
 10" SELECT FILL OR 8" MOODIFIED SUBGRADE
- 31 PROPOSED HEAVY DUTY ASPHALT PAVEMENT
 3" SURFACE COURSE (TYPE "C" ASPHALTIC CONCRETE)
 2-1/2" BASE COURSE (TYPE "A" ASPHALTIC CONCRETE)
 4" AGGREGATE BASE (0007 TYPE A)
 10" SELECT FILL OR 8" MOODIFIED SUBGRADE
- 32 PROPOSED HEAVY DUTY INTEGRAL BLACK COLORED CONCRETE
 4" PORTLAND CEMENT CONCRETE
 WITH #4 BARS @ 12" O.C. EACH WAY
 10" SELECT FILL OR 8" MOODIFIED SUBGRADE
- 33 PROPOSED HEAVY DUTY INTEGRAL BLACK COLORED CONCRETE LANDING
 4" PORTLAND CEMENT CONCRETE
 WITH #4 BARS @ 12" O.C. EACH WAY
 10" SELECT FILL OR 8" MOODIFIED SUBGRADE
 (SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION)
- 34 PROPOSED DETECTABLE WARNING PLATE
- 35 PROPOSED LANDSCAPE AREA
 (SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND DETAILS)



SITE KEY NOTES:

- S1 PROPOSED TEXAS ROADHOUSE BUILDING (SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S2 PROPOSED THREE ENCLOSURE (SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S3 PROPOSED CONCRETE CURB AND GUTTER
- S4 PROPOSED REVERSE PITCH CONCRETE CURB AND GUTTER (RPG)
- S5 PROPOSED RECESSED CONCRETE CURB AND GUTTER
- S6 PROPOSED 3" CONCRETE SIDEWALK
- S7 PROPOSED INTEGRAL BLACK HEAVY DUTY CONCRETE PAVEMENT
- S8 PROPOSED CONCRETE LANDING (SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S9 PROPOSED INTEGRAL BLACK CONCRETE LANDING (SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S10 PROPOSED ASPHALT PAVEMENT
- S11 PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- S12 PROPOSED DETECTABLE WARNING PLATE
- S13 PROPOSED LANDSCAPE AREA (SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S14 PROPOSED PRECAST CONCRETE WHEEL STOP (TOP OF 6")
- S15 PROPOSED HATCHWAY ACCESSIBLE PARKING SIGN PER LOCAL CODE

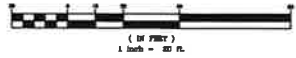
GENERAL SITE NOTES:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF ALL SITE SURVEY, EXCAVATIONS AND UNDERINGS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST STATE AND LOCAL GOVERNMENT CONSTRUCTION SPECIFICATIONS AND SPECIFICATIONS.
- ALL HATCHWAY ACCESSIBLE SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS.
- IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER, DATE, AUTHORIZED TO PROCEED, ANY WORK PERFORMED BY THE CONTRACTOR AFTER SUCH A DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
- CONTRACTOR SHALL COORDINATE ALL SITE IMPROVEMENTS WITH ARCHITECTURAL PLANS, ARCHITECTURAL PLANS SHALL BE USED FOR BUILDING CONTEXT.
- CONTRACTOR SHALL COORDINATE ALL LANDSCAPE IMPROVEMENTS, INCLUDING NEW PLANTINGS AND TURF AREA RESTORATION REQUIREMENTS WITH LANDSCAPE PLANS.
- CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL INTERSECTIONS SHOWN ARE MEASURED FROM FACE OF CURB TO FACE OF CURB OR EDGE OF PAVEMENT TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL CURB RAILS ARE MEASURED AT THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL NEW ASPHALT AND/OR CONCRETE PAVING SHALL MATCH EXISTING PAVEMENTS FINISH.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- CONTRACTOR SHALL BEAR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- ALL FIRE ACCESS LINES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAR OF OBSTACLES AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
- ALL DETECTABLE WARNING PLATES SHALL BE PREFORMED PLASTIC INSERTS UNLESS OTHERWISE NOTED.
- SEE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

PROJECT INFORMATION:

TEXAS ROADHOUSE SITE AREA: 12.34 ACRES
 CORRIDOR DISTRICT
 TOTAL BUILDING AREA: 7,420 SQ. FT.
 PROPOSED USE: RESTAURANT
 BUILDING HEIGHT: 28'-10"
 BUILDING FOOTPRINT: 381 SCARS
 PARKING PROVIDED: 167 STALLS (INCLUDING 8 ADA STALLS)

GRAPHIC SCALE



9.9

PROPOSED LEGEND:

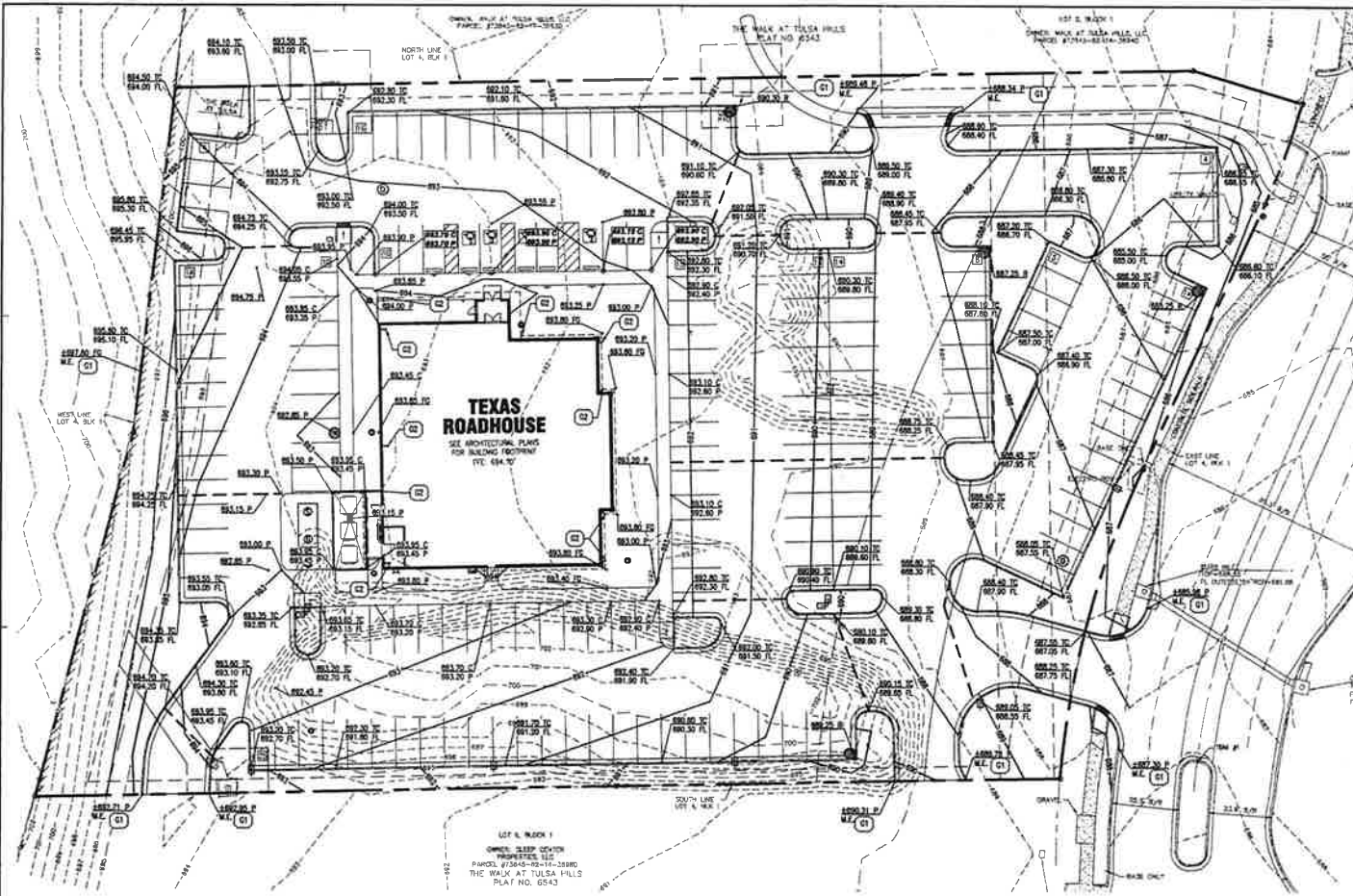
- PROPERTY LINE
- == PROPOSED CONCRETE CURB AND GUTTER
- == PROPOSED DEPRESSED CONCRETE CURB AND GUTTER
- == PROPOSED REVERSE PITCH CONCRETE CURB AND GUTTER
- PROPOSED CONCOURSE
- 472.85 TO 472.35 FL PROPOSED SPOT ELEVATION
- FFE: FINISHED FLOOR ELEVATION
- TC: TOP OF CURB ELEVATION
- CFE: CURB FINISH ELEVATION
- C: TOP OF CONCRETE ELEVATION
- P: TOP OF PAVEMENT ELEVATION
- FC: FINISHED GRADE ELEVATION
- ME: MATCH EXISTING ELEVATION
- PROPOSED SPOT ELEVATION DEPRESSED CURB FACE VARIES
- PROPOSED DRAINAGE HOSE LINE
- PROPOSED DRAINAGE FLOW DIRECTION
- PROPOSED OVERLAND FLOOD ROUTE
- PROPOSED STORM SEWER STRUCTURE WITH OPEN GRADE
- PROPOSED STORM SEWER STRUCTURE WITH CLOSED LID
- PROPOSED STORM SEWER CLEAN OUT
- PROPOSED HEAVY DUTY AREA DRAIN
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER STRUCTURES
- PROPOSED SANITARY SEWER GRADE INTERCEPTOR
- PROPOSED WATER STRUCTURES
- PROPOSED FIRE DEPARTMENT CONNECTION (FDC)

GRADING & DRAINAGE KEY NOTES:

- G1 FIELD VERIFY AND MATCH EXISTING ELEVATION AT PROJECT SCOPE OF WORK LIMITS (TYP.)
- G2 PROPOSED ROOF DRAIN LOCATION (SEE ARCHITECTURAL PLANS FOR MORE INFORMATION)

PROJECT BENCHMARKS:

- TBM #1: CEMENTED SQUARE ON TOP OF CURB, NORTH NOSE OF CURB ISLAND, EAST OF THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY. ELEVATION = 686.9'
- TBM #2: CUT 'X' ON TOP OF CURB, NORTH 1/2 AND EAST 1/4 OF THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY. ELEVATION = 686.4'
- TBM #4: CUT 'X' ON TOP OF CURB, NORTH 477' AND WEST 146' OF THE NORTHWEST CORNER OF THE SUBJECT PROPERTY. ELEVATION = 687.89'

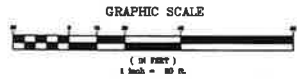


GENERAL GRADING NOTES:

1. ALL GRADING AND SITE PREPARATION WORK SHALL COMPLY WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE GEOTECHNICAL REPORT.
2. CONTRACTOR SHALL CAREFULLY INSPECT ALL SITE CONDITIONS AND REFER TO THESE DRAWINGS FOR GRADING OPERATIONS.
3. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST FORTY-FOUR (48) HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REDUCES ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED SITE IMPROVEMENTS SHOWN ON THESE PLANS.
4. CONTRACTOR SHALL INSTALL APPROPRIATE PROTECTION MEASURES PRIOR TO COMMENCEMENT OF SITE GRADING OPERATIONS.
5. ALL PROPOSED GRADING, PAVEMENT, APPROX, CURBS, WALKS, ETC. SHALL MATCH EXISTING GRADES FLUSH.
6. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE TO ALL STORM DRAINAGE STRUCTURES. AREAS OF SURFACE PONDING SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
7. ALL EXISTING AND PROPOSED TOP OF FRAME ELEVATIONS FOR STORM, SANITARY, WATER AND OTHER UTILITY STRUCTURES SHALL BE ADJUSTED TO MEET FINISHED GRADE WITHIN THE PROJECT LIMITS.
8. CONTRACTOR SHALL UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REPAIR. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
9. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
10. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
11. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
12. MAXIMUM SLOPES WITHIN THE HANDICAP ACCESSIBLE ROUTES SHALL NOT EXCEED 2% AND 5% RESPECTIVELY.
13. MAXIMUM GRADE DIFFERENCE BETWEEN PAVEMENT SURFACES AND ADJACENT CONCRETE SIDEWALKS FOR THE ACCESSIBLE ROUTE TO THE BUILDING SHALL NOT EXCEED 1/4" VERTICAL OR 1/2" WHEN BEVELED.
14. ALL HANDICAP ACCESSIBLE EXTERIOR DOORWAY LOCATIONS REQUIRE AN EXTERIOR LANDING THAT IS A MINIMUM OF FIVE (5) FEET IN LENGTH WITH A SLOPE NOT EXCEEDING 2% IN ANY DIRECTION.
15. EXCAVATION SHORING SHALL BE DONE AS NECESSARY FOR THE PROTECTION OF THE WORK AND FOR THE SAFETY OF PERSONNEL. SHORING SHALL BE IN ACCORDANCE WITH ALL OSHA AND LOCAL REGULATIONS.
16. ALL STRUCTURE BENCH MARKS SHALL BE SHOWN AND FORMED FOR A CLEAN TRANSITION WITH PROPER HYDRAULICS TO ALLOW THE SMOOTH CONFORMANCE OF FLOWS THROUGH THE MANHOLE OR BOX BUILT. THE BENCH MARK SHALL FORM A DEFINED CHANNEL TO A MINIMUM HEIGHT OF 20-PERCENT OF THE INSIDE DIAMETER OF THE INLET AND OUTLET PIPES TO FORM A "D" SHAPED CHANNEL, CONSTRUCTED AT A MINIMUM 1/2-INCH PER FOOT SLOPE TO THE MANHOLE WELL.
17. ALL STORM WATER INLETS AND CATCH BASIN CASTINGS SHALL HAVE THE WORDS "NO DUMPING, DRAINS TO STREET" OR SIMILARLY APPROVED MESSAGE, CAST IN RAISED OR RECESSED LETTERS AT A MINIMUM OF 1" IN HEIGHT. IN ADDITION, A SYMBOL OF A FISH SHALL ALSO BE CAST WITH THE LETTERS.
18. SEE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

FLOOD NOTE:

THE PROJECT SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD AREA AND IS LOCATED IN ZONE "X" AS SHOWN ON THE ABOVE CITING EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 8014000342L LAST REVISION OCTOBER 14, 2012.



CONTRACT NOTES:
This drawing is the property of G.F. Granberg Farrow, Inc. and shall not be used for any purpose other than that specifically stated on the contract. The contractor shall be responsible for the accuracy of any information received from other sources. The contractor shall be responsible for the accuracy of any information received from other sources.

DATE	DESCRIPTION
07/27/18	CONSTRUCTION SET
08/03/18	REVISED: SHEET 01

PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE
JOHN BEVILAGUA
PROFESSIONAL ENGINEER
LICENSE NO. 17788
PROJECT MANAGER
DREW OLSEN
QUALITY CONTROL
LARRY LEE
DRAWN BY
JEFF BISH
PROJECT NAME

TEXAS ROADHOUSE

TULSA
OKLAHOMA
2254 SOUTH OLYMPIA
AVENUE WEST

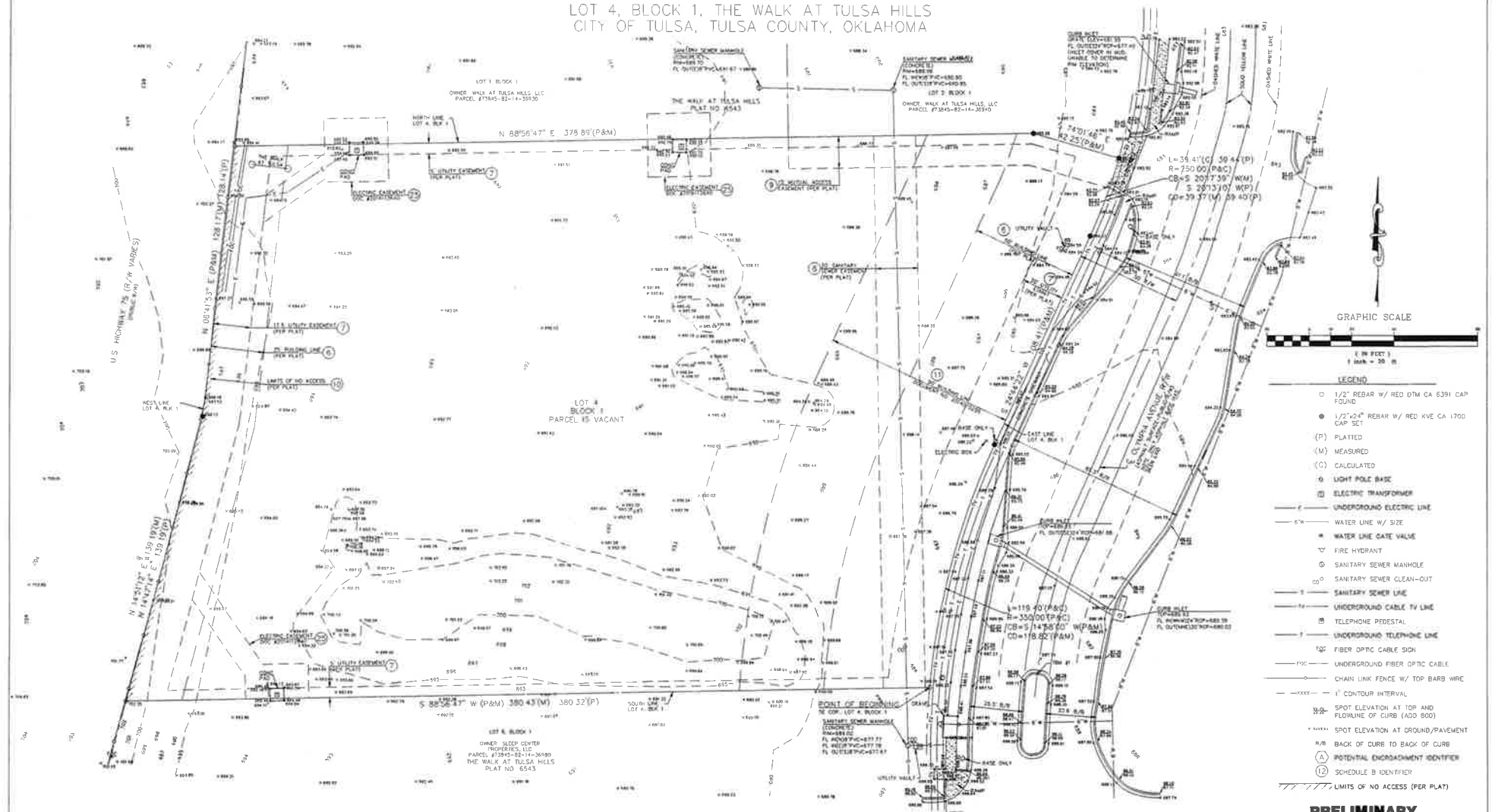


PROJECT NUMBER
201408840.0
SHEET TITLE
GRADING AND DRAINAGE PLAN

SHEET NUMBER
C4.0

9.10

ALTA/ACSM LAND TITLE SURVEY
 LOT 4, BLOCK 1, THE WALK AT TULSA HILLS
 CITY OF TULSA, TULSA COUNTY, OKLAHOMA



- LEGEND**
- 1/2" REBAR W/ RED DTM CA 63H1 CAP POUND
 - 1/2"x2" REBAR W/ RED KVE CA 170D CAP SET
 - (P) PLATTED
 - (M) MEASURED
 - (C) CALCULATED
 - LIGHT POLE BASE
 - ELECTRIC TRANSFORMER
 - UNDERGROUND ELECTRIC LINE
 - WATER LINE W/ SIZE
 - WATER LINE GATE VALVE
 - ▽ FIRE HYDRANT
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER CLEAN-OUT
 - SANITARY SEWER LINE
 - UNDERGROUND CABLE TV LINE
 - TELEPHONE PEDESTAL
 - UNDERGROUND TELEPHONE LINE
 - FIBER OPTIC CABLE SIGN
 - UNDERGROUND FIBER OPTIC CABLE
 - CHAIN LINK FENCE W/ TOP BARB WIRE
 - 1' CONTOUR INTERVAL
 - SPOT ELEVATION AT TOP AND FLOWLINE OF CURB (ADD 500)
 - SPOT ELEVATION AT GROUND/PAVEMENT
 - BACK OF CURB TO BACK OF CURB
 - (A) POTENTIAL ENCROACHMENT IDENTIFIER
 - (B) SCHEDULE B IDENTIFIER
 - LIMITS OF NO ACCESS (PER PLAT)

PRELIMINARY

BENCHMARKS:
 BM #2 CUT "X" ON TOP OF CURB, NORTH 16' AND EAST 146' OF THE SOUTHEAST CORNER OF THE SUBJECT PROPERTY
 NORTHING 20105 2193
 EASTING 20279 5254
 ELEV=676.42
 BM #4 CUT "X" ON TOP OF CURB, NORTH 477' AND WEST 144' OF THE NORTHWEST CORNER OF THE SUBJECT PROPERTY
 NORTHING 20621 5725
 EASTING 19392 9372
 ELEV=687.88

THE ABOVE BENCHMARKS ARE SHOWN PER THE RECORDED FINAL PLAT OF "THE WALK AT TULSA HILLS"
 BM #1 CHISELED SQUARE ON TOP OF CURB, NORTH NOSE OF CURB ISLAND, EAST OF THE SOUTHEAST CORNER OF THE SUBJECT PROPERTY
 NORTHING 20105 2193
 EASTING 20279 5254
 ELEV=676.42

	200 N. EMPORIA, SUITE 100 WICHITA, KANSAS 67202 PH. (316) 440-4304 FAX (316) 440-4309 wh@kvaleng.com www.kvaleng.com	PROJECT NO. G15-0175 DRAWN BY JRL CHECKED BY JRL CEN 79 ALTA_PRLM SHEET 1 OF 2
	PREPARED FOR: GREENBERG FARROW ARCHITECTURE, INC. 1430 W. PEACHTREE STREET, NW, STE 200 ATLANTA, GEORGIA 30309	KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER SURVEYING SERVICES BY KANSAS STATE CERTIFICATE OF AUTHORIZATION NO. LS-20 EXPIRES 12/31/16

9.11

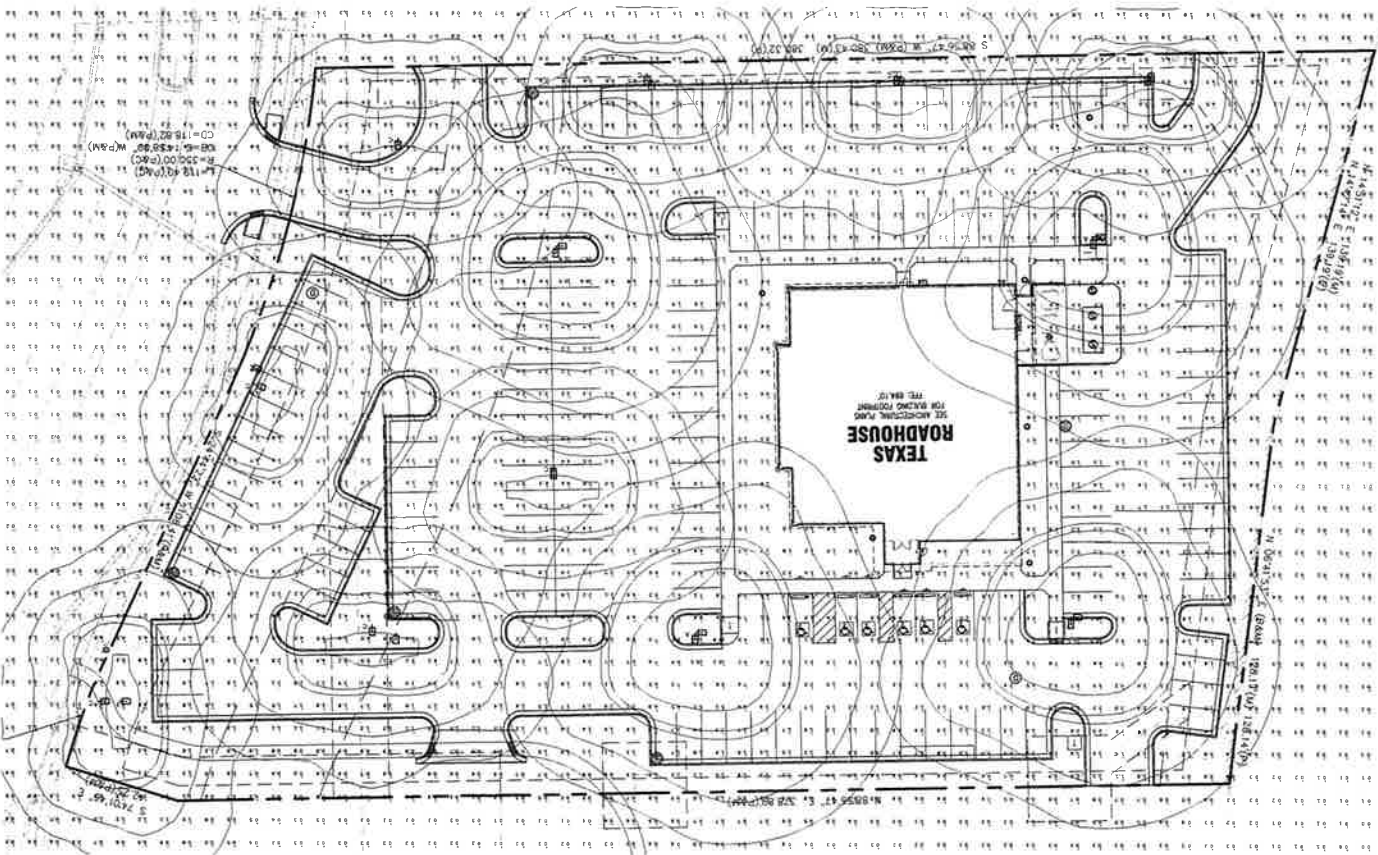
TABLE 25.01 - PER 300' SQUARE FOOT LIGHTING REQUIREMENTS FOR VARIOUS OCCUPANCIES AND USES

Occupancy	Use	Foot Candles
Office	Office	2.0
	Reception	3.0
Retail	Retail	2.0
	Food Service	3.0

TABLE 25.02 - CALCULATION SUMMARY

Level	Area (sq. ft.)	Area (sq. ft.)	Area (sq. ft.)	Area (sq. ft.)
Level 1	10,000	10,000	10,000	10,000
Level 2	10,000	10,000	10,000	10,000
Level 3	10,000	10,000	10,000	10,000
Total	30,000	30,000	30,000	30,000

TEXAS ROADHOUSE
 TULSA, OK
 PREPARED BY: MELISSA JOE
 ACCESSORY LIGHTING & BOOTHING
 877-707-7376
 502-961-0377 FAX
 INFO@COX-90TV.COM
 JULY 21, 2015



PH.1.0
 SHEET NUMBER

PHOTOMETRIC
 PLAN

PROJECT NUMBER
 201408610.0



TULSA, OKLAHOMA
 8204 SOUTH OLYMPIA
 AVENUE WEST

TEXAS
 ROADHOUSE

PROJECT NAME
 PROJECT NUMBER
 201408610.0
 502-961-0377
 INFO@COX-90TV.COM

PROFESSIONAL SEAL

[Professional Seal Area - Blank]



Tulsa Metropolitan Area
Planning Commission

Case : Open Arms Child Development
Center

Minor Subdivision Plat

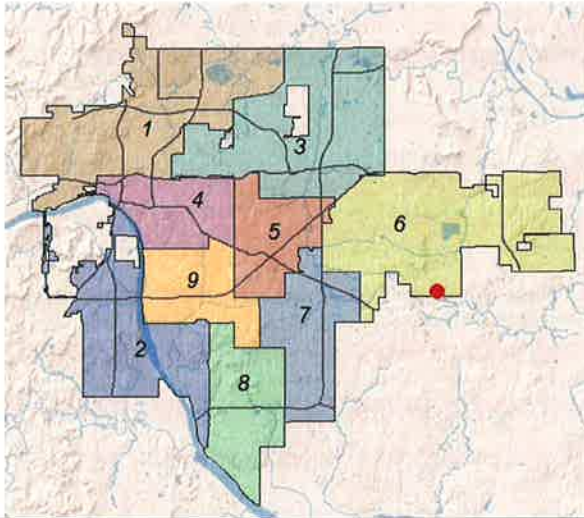
Hearing Date: April 15, 2015 (Continued
from 12/17/14, 1/21/15, 2/18/15, 3/18/15,
4/15/15)

Case Report Prepared by:
Diane Fernandez

Owner and Applicant Information:
Applicant: Mark Capron, Sisemore, Weisz &
Associates

Owner: The Evangelical Lutheran Church of
Our Savior

Location Map:
(shown with City Council Districts)



Applicant Proposal:
Preliminary Subdivision Plat Approval

Tract Size: 3.7 acres

Location: North of the northeast corner of
East 51st Street South and South 177th East
Avenue

Zoning:
Existing Zoning: AG with Board of
Adjustment case 21265

Staff Recommendation:
Staff recommends **APPROVAL.**

City Council District: 6
City Councilor: Connie Dodson
County Commission District: 1
Commissioner Name: John Smaligo

EXHIBITS:

- INCOG Aerial
- Zoning Case Map
- Land Use Map
- Growth and Stability Map

Subdivision Map

10.1

MINOR SUBDIVISION PLAT

Open Arms Child Development Center - (CD 6)

North of the Northeast corner of East 51st Street South and South 177th East Avenue

This plat consists of 1 Lot, 1 Block, on 3.7 acres.

The following issues were discussed December 4, 2014, at the Technical Advisory Committee (TAC) meeting:

1. **Zoning:** The property is zoned AG with Board of Adjustment case 21265 including a church, child care center and recreational vehicles.
2. **Streets:** A total drive width of 40 feet will be allowed for this development (either one 40 foot wide two way drive or a one way 16 foot entry drive and a one way 24 foot exit drive). Drives need to match alignment with street across 177th Avenue. Left turn lane at drive will be required unless a warrant study proves operations on 177th will not degrade from traffic accessing the development during peak times. Sidewalks to be build as part of IDP (infrastructure development plan), not building permit. Discuss turn lane requirement with Doug Duke of Development Services.
3. **Sewer:** Since the existing sewer line in Stonegate will be utilized, a Sanitary Sewer District has to be created and the following fees will be assessed for the entire acreage: \$700/acre Broken Arrow Excess Capacity Fees, Administration fees for the City of Tulsa for 2.9% of the Broken Arrow fees, Trinity Creek Payback Contract Fees of \$640/acre, Stone Creek Farms Lift Station Use Fees of \$150/acre to be assessed during development approval.
4. **Water:** Additional easement may be required for water meter locations.
5. **Storm Drainage:** No comment.
6. **Utilities: Telephone, Electric, Gas, Cable, Pipeline, Others:** PSO may need additional easements.
7. **Other: Fire:** No comment.
8. **Other: GIS:** Add north arrow to location map. Legal description does not close. (Section 333d. Distance does not match legal. Change Bearing direction to follow the direction of the legal description. Basis of Bearing needs to be identified and include Coordinate System uses. Submit data control sheet. On location map show names of pending subdivisions in mile block. In covenants Section IG3 change the first word on line 2 from By to be. Remove references to Department of Public Works. Confirm that existing Valor easement will not have superior or conflicting rights over general utility easement. **City Legal:** Language must be corrected per City Legal comments.

Staff recommends **APPROVAL** of the minor subdivision plat with the TAC recommendations and the special and standard conditions listed below.

Waivers of Subdivision Regulations:

1. None requested.

Special Conditions:

1. The concerns of the Development Services and Engineering Services staffs must be taken care of to their satisfaction.

Standard Conditions:

1. Utility easements shall meet the approval of the utilities. Coordinate with Subsurface Committee if underground plant is planned. Show additional easements as required. Existing easements shall be tied to or related to property line and/or lot lines.
2. Water and sanitary sewer plans shall be approved by the Public Works Department prior to release of final plat. (Include language for W/S facilities in covenants.)
3. Pavement or landscape repair within restricted water line, sewer line, or utility easements as a result of water or sewer line or other utility repairs due to breaks and failures shall be borne by the owner(s) of the lot(s).
4. Any request for creation of a Sewer Improvement District shall be submitted to the Public Works Department Engineer prior to release of final plat.
5. Paving and/or drainage plans (as required) shall be approved by the Public Works Department.
6. Any request for a Privately Financed Public Improvement (PFPI) shall be submitted to the Public Works Department.
7. A topography map shall be submitted for review by TAC (Subdivision Regulations). (Submit with drainage plans as directed.)
8. Street names shall be approved by the Public Works Department and shown on plat.
9. All curve data, including corner radii, shall be shown on final plat as applicable.
10. Bearings, or true N/S, etc., shall be shown on perimeter of land being platted or other bearings as directed by the County Engineer.
11. All adjacent streets, intersections and/or widths thereof shall be shown on plat.
12. It is recommended that the developer coordinate with the Public Works

Department during the early stages of street construction concerning the ordering, purchase and installation of street marker signs. (Advisory, not a condition for plat release.)

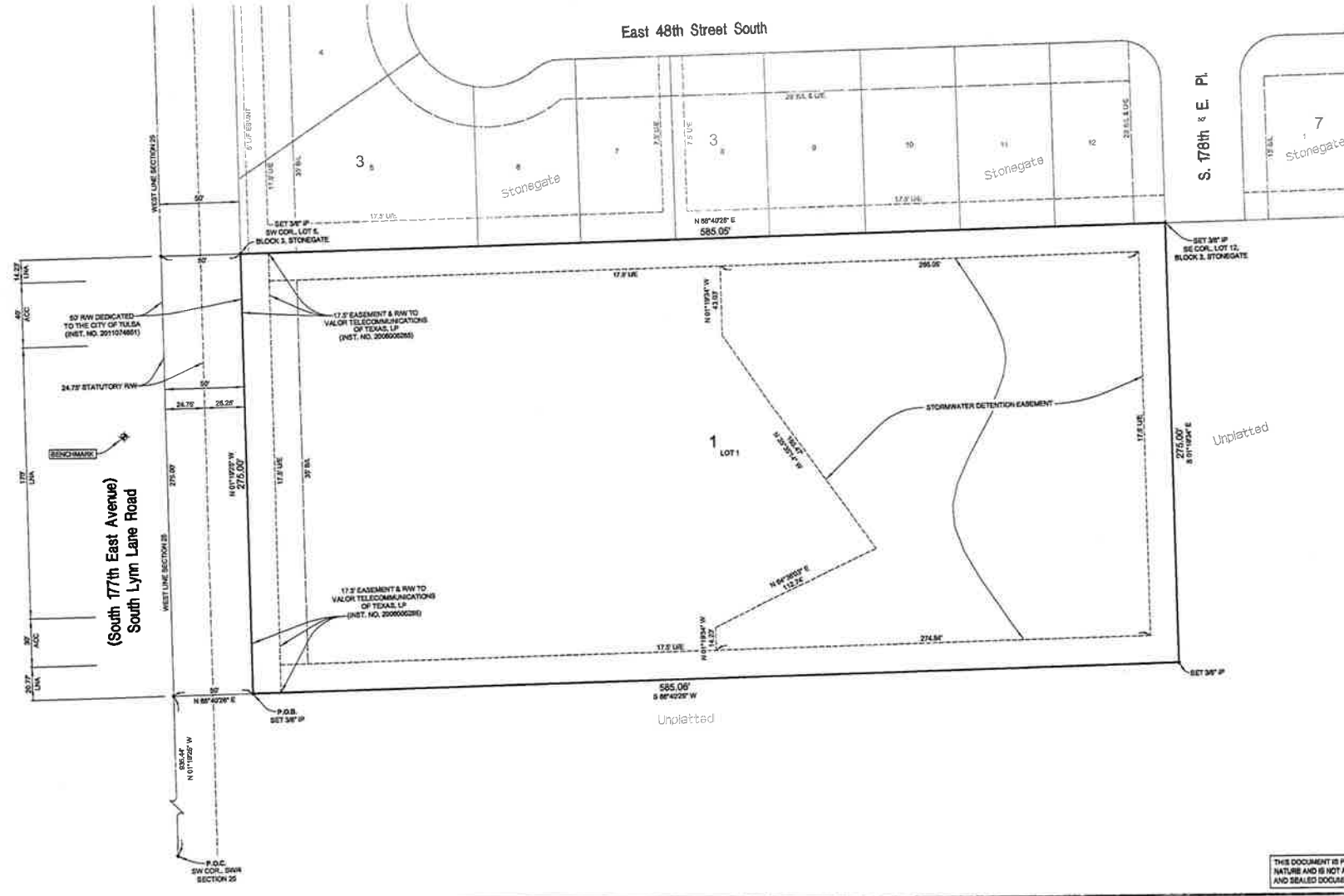
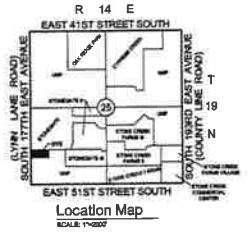
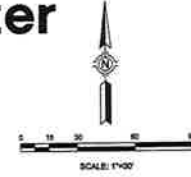
13. It is recommended that the applicant and/or his engineer or developer coordinate with the Tulsa City/County Health Department for solid waste disposal, particularly during the construction phase and/or clearing of the project. Burning of solid waste is prohibited.
14. The method of sewage disposal and plans therefor shall be approved by the City/County Health Department. [Percolation tests (if applicable) are required prior to preliminary approval of plat.]
15. The owner(s) shall provide the following information on sewage disposal system if it is to be privately operated on each lot: type, size and general location. (This information to be included in restrictive covenants on plat.)
16. The method of water supply and plans therefor shall be approved by the City/County Health Department.
17. All lots, streets, building lines, easements, etc., shall be completely dimensioned.
18. The key or location map shall be complete.
19. A Corporation Commission letter, Certificate of Non-Development, or other records as may be on file, shall be provided concerning any oil and/or gas wells before plat is released. (A building line shall be shown on plat on any wells not officially plugged. If plugged, provide plugging records.)
20. A "Letter of Assurance" regarding installation of improvements shall be provided prior to release of final plat. (Including documents required under 3.6.5 Subdivision Regulations.)
21. Applicant is advised of his responsibility to contact the U.S. Army Corps of Engineers regarding Section 404 of the Clean Waters Act.
22. All other Subdivision Regulations shall be met prior to release of final plat.
23. All PUD standards and conditions shall be included in the covenants of the plat and adequate mechanisms established to assure initial and continued compliance with the standards and conditions.
24. Private streets shall be built to City or County standards (depending upon the jurisdiction in which the plat is located) and inspected and accepted by same prior to issuance of any building permits in the subdivision.

Minor Subdivision Plat Open Arms Child Development Center

A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER (SW/4) OF SECTION 25, TOWNSHIP 19 NORTH, RANGE 14 EAST,
CITY OF TULSA, TULSA COUNTY, OKLAHOMA

Owner:
The Evangelical Lutheran Church of Our Savior
An Oklahoma Not-For Profit Company
148 S. Sheridan Rd.
Tulsa, Oklahoma 74112
Phone: (918) 836-3752
Contact: Mr. Craig Boewe, President

Engineer/Surveyor:
Sisemore Weisz & Associates, Inc.
Certificate of Authorization No. 2421 Exp. June 30, 2015
6111 E. 32nd Place
Tulsa, Oklahoma 74135
Phone: (918) 665-3600
E-mail: gwelisz@sw-asecc.com



- Subdivision Statistics:**
SUBDIVISION CONTAINS ONE (1) LOT IN ONE (1) BLOCK
SUBDIVISION CONTAINS 3.664 TOTAL ACRES (158,800 SF)
- Legend:**
- UB = UTILITY EASEMENT
 - BL = BUILDING SETBACK LINE
 - SEWE = SANITARY SEWER EASEMENT
 - LANC = LANDSCAPE/RETENGE EASEMENT
 - ROW = RIGHT-OF-WAY
 - ACC = ACCESS
 - LNA = LIMITS OF NO ACCESS
 - P.O.B. = POINT OF BEGINNING
 - P.O.C. = POINT OF COMMENCEMENT
 - IP = IRON PIN
 - 2222 = RETRIEVE ADDRESS

- Notes:**
1. BARRIERSHOTS SHOWN WITHIN ADJACENT STONEGATE PLAT ARE PER THE RECORDED SUBDIVISION PLAT OF STONEGATE PLAT NO. 885.
 2. SIDEWALKS ARE TO BE CONSTRUCTED ALONGSIDE ALL STREETS OF THE SUBDIVISION AS REQUIRED AND PRESCRIBED BY THE CITY OF TULSA. CONSTRUCTION OF SUCH SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE OWNER/ DEVELOPER OR BUILDER OF THAT LOT.

Monumentation:
3/4\"/>

Basis of Bearing:
THE BEARING BASE FOR THIS SURVEY IS BASED ON THE RECORDED PLAT OF STONEGATE PLAT NO. 885.

Benchmark:
RAILROAD SPIKE IN POWER POLE LOCATED APPROXIMATELY 112' SOUTHWEST OF THE NORTHWEST CORNER OF LOT 1, BLOCK 1, OPEN ARMS CHILD DEVELOPMENT CENTER. NAVD 1985 DATUM. ELEVATION=701.00

FINAL PLAT ENDORSEMENT OF APPROVAL	
Tulsa Metropolitan Area Planning Commission Approval Date: _____	TIMPACHOOD
Council of the City of Tulsa, Oklahoma Approval Date: _____	CITY ENGINEER
	COURTNEY
	MAYOR
	ATTEST: CITY CLERK
	CITY ATTORNEY

The approval of the Final Plat will expire one year from the date of City Council approval if not filed in the Office of the County Clerk before that date.

THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT.
Minor Subdivision Plat
Open Arms Child Development Center
Sheet 1 of 2
Data Prepared November 12, 2014

10.5

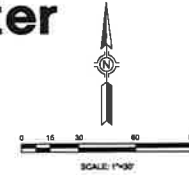
Minor Subdivision Plat/Draft Final Plat #2

Open Arms Child Development Center

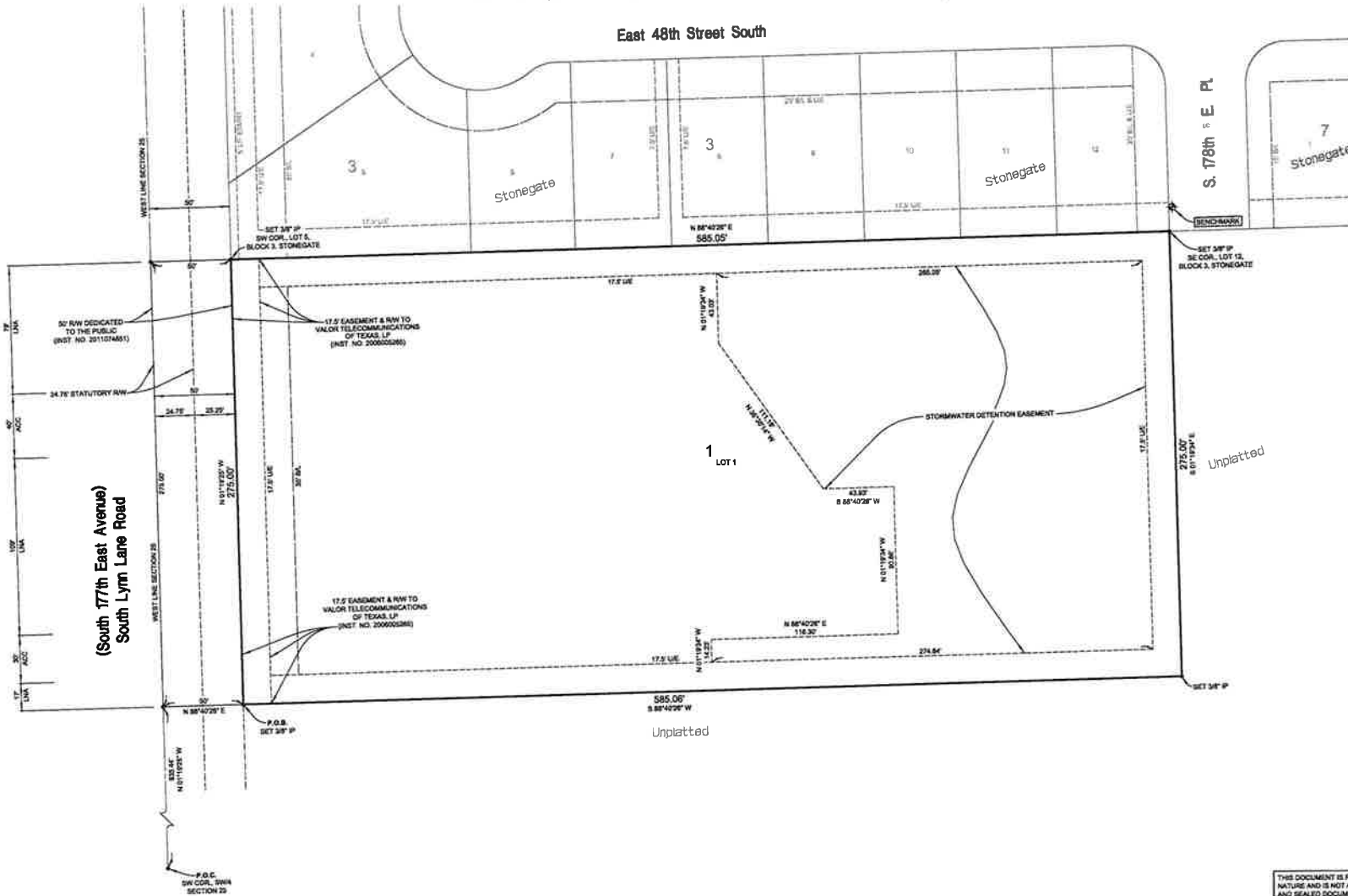
A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER (SW4) OF SECTION 25, TOWNSHIP 19 NORTH, RANGE 14 EAST, CITY OF TULSA, TULSA COUNTY, OKLAHOMA

Owner:
The Evangelical Lutheran Church of Our Savior
 An Oklahoma Not-For Profit Corporation
 148 S. Sheridan Rd.
 Tulsa, Oklahoma 74112
 Phone: (918) 836-3752
 Contact: Mr. Timothy Michaels Johnson, President

Engineer/Surveyor:
Sisemore Weisz & Associates, Inc.
 Certificate of Authorization No. 2421 Exp. June 30, 2017
 8111 E. 32nd Place
 Tulsa, Oklahoma 74135
 Phone: (918) 865-3600
 E-mail: gwelisz@sw-assoc.com



East 48th Street South



Subdivision Statistics:
 SUBDIVISION CONTAINS ONE (1) LOT IN ONE (1) BLOCK
 SUBDIVISION CONTAINS 2.884 TOTAL ACRES (MORE OR LESS)

Legend:
 UE = UTILITY EASEMENT
 SL = BUILDING SETBACK LINE
 RW = RIGHT-OF-WAY
 ACC = ACCESS
 LNA = LIMITS OF NO ACCESS
 P.O.A. = POINT OF BEGINNING
 P.O.C. = POINT OF COMMENCEMENT
 L.P. EASMT = LANDSCAPE/RETENANCE EASEMENT
 P = IRON PIN

Notes:
 1. EASEMENTS SHOWN WITH ADJACENT STONEGATE PLAT ARE PER THE RECORDED SUBDIVISION PLAT OF STONEGATE (PLAT NO. 8862).

Monumentation:
 3/8\"/>

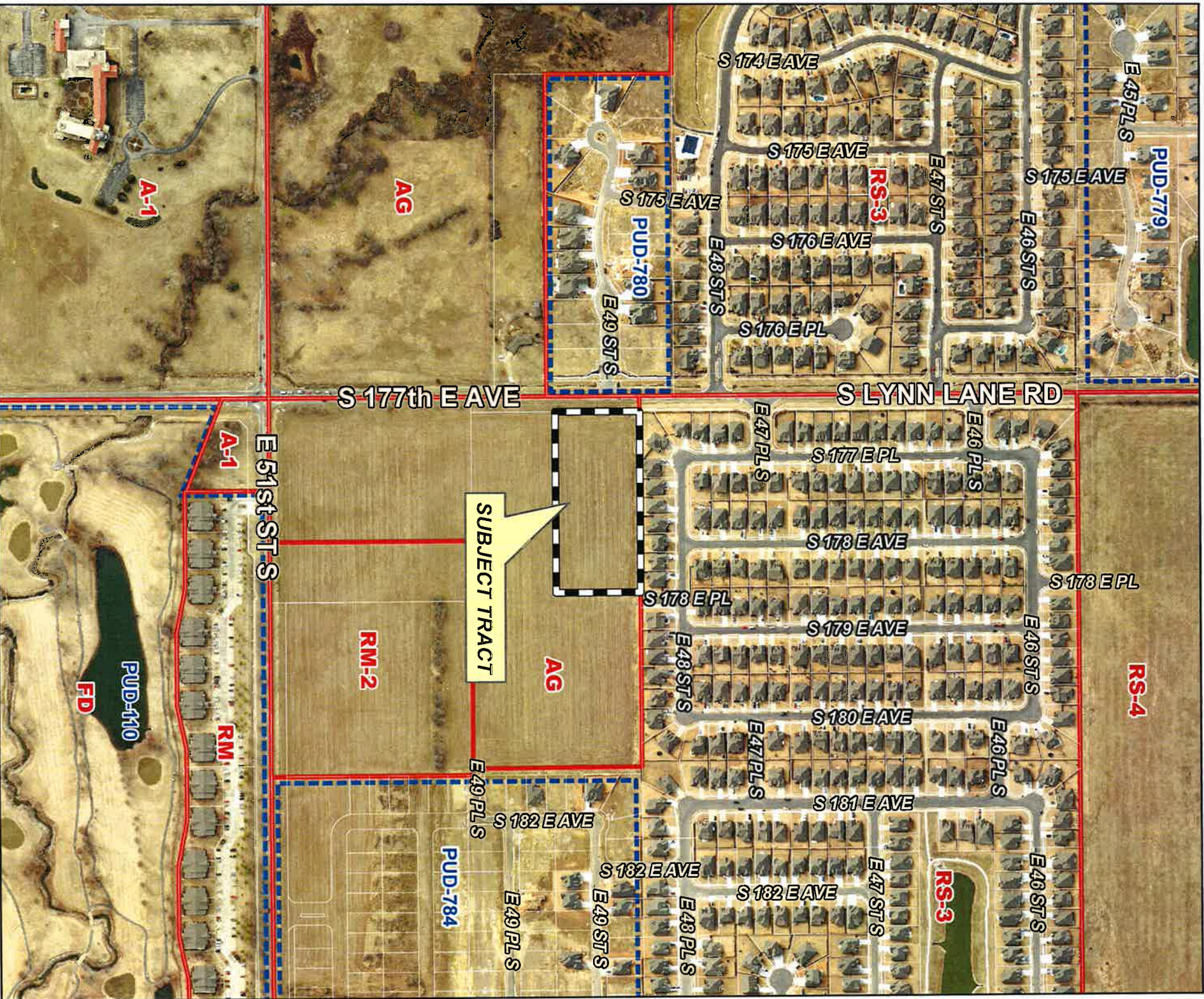
Basis of Bearing:
 THE BEARING BASE FOR THIS SURVEY IS GRID BEARINGS DERIVED FROM THE OKLAHOMA STATE PLANE COORDINATE SYSTEM WITH THE WEST LINE OF SECTION 25 AS N 01°18'27\"/>

Benchmark:
 CHISEL SQUARE ON CONCRETE LOCATED APPROXIMATELY 15' NORTH-EAST OF THE NORTH-EAST CORNER OF LOT 1, BLOCK 1, OPEN ARMS CHILD DEVELOPMENT CENTER. NAVD 88 DATUM. ELEVATION=668.01

FINAL PLAT ENDORSEMENT OF APPROVAL	
Tulsa Metropolitan Area Planning Commission	Approval Date: _____
_____	TIM WOODCOCK
_____	CITY ENGINEER
Council of the City of Tulsa, Oklahoma	Approval Date: _____
_____	CHAIRMAN
_____	MAYOR
_____	ATTYNEY CITY CLERK
_____	CITY ATTORNEY

The approval of this Final Plat shall expire one year from the date of City Council approval if not filed in the Office of the County Clerk before the date.

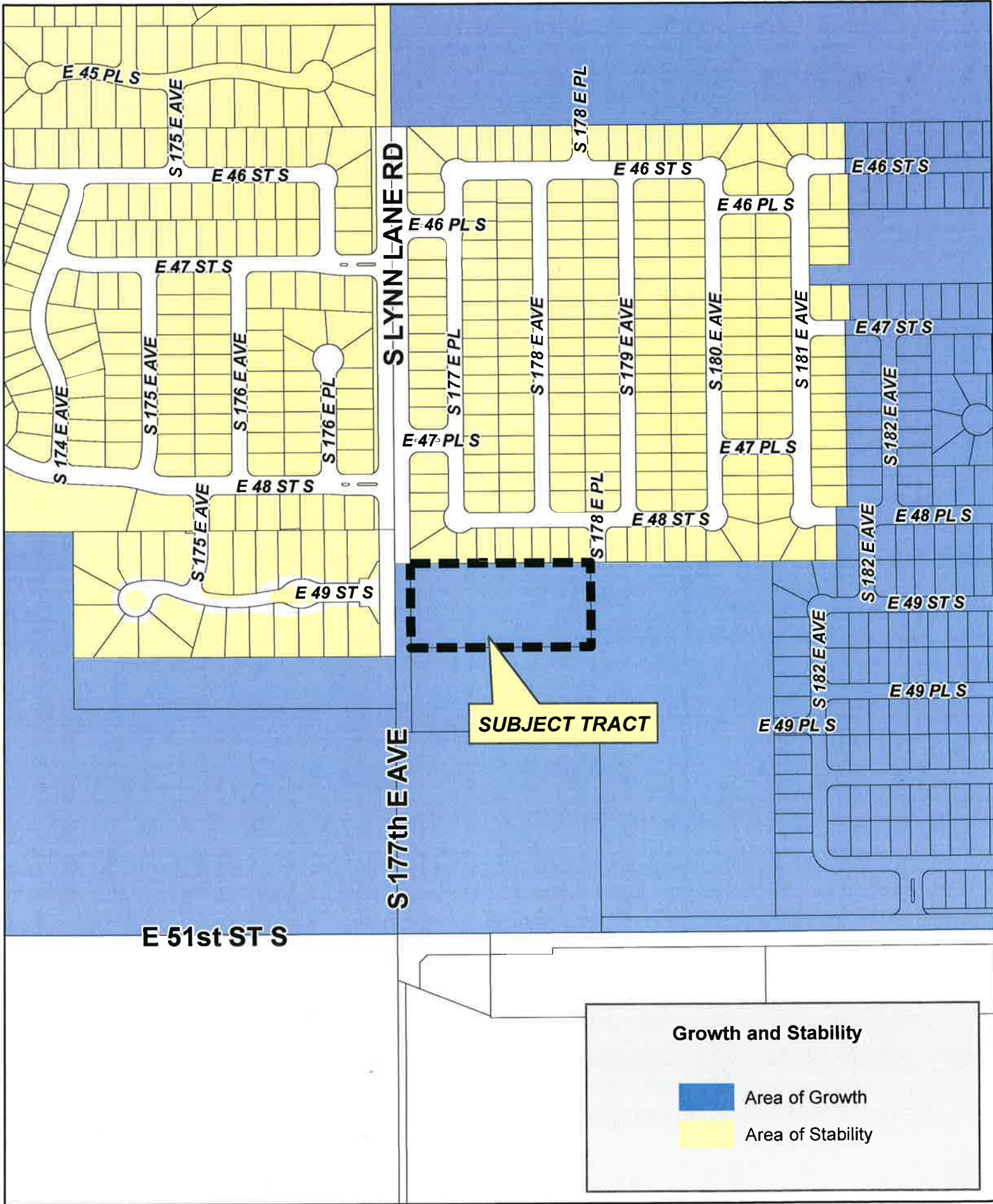
10.4



OPEN ARMS CHILD DEVELOPMENT CENTER
 Aerial Photo Date: March 2014
 19-14 25

Note: Graphic overlays may not p
 align with physical features on the s

10.7



SUBJECT TRACT

Growth and Stability

- Area of Growth
- Area of Stability

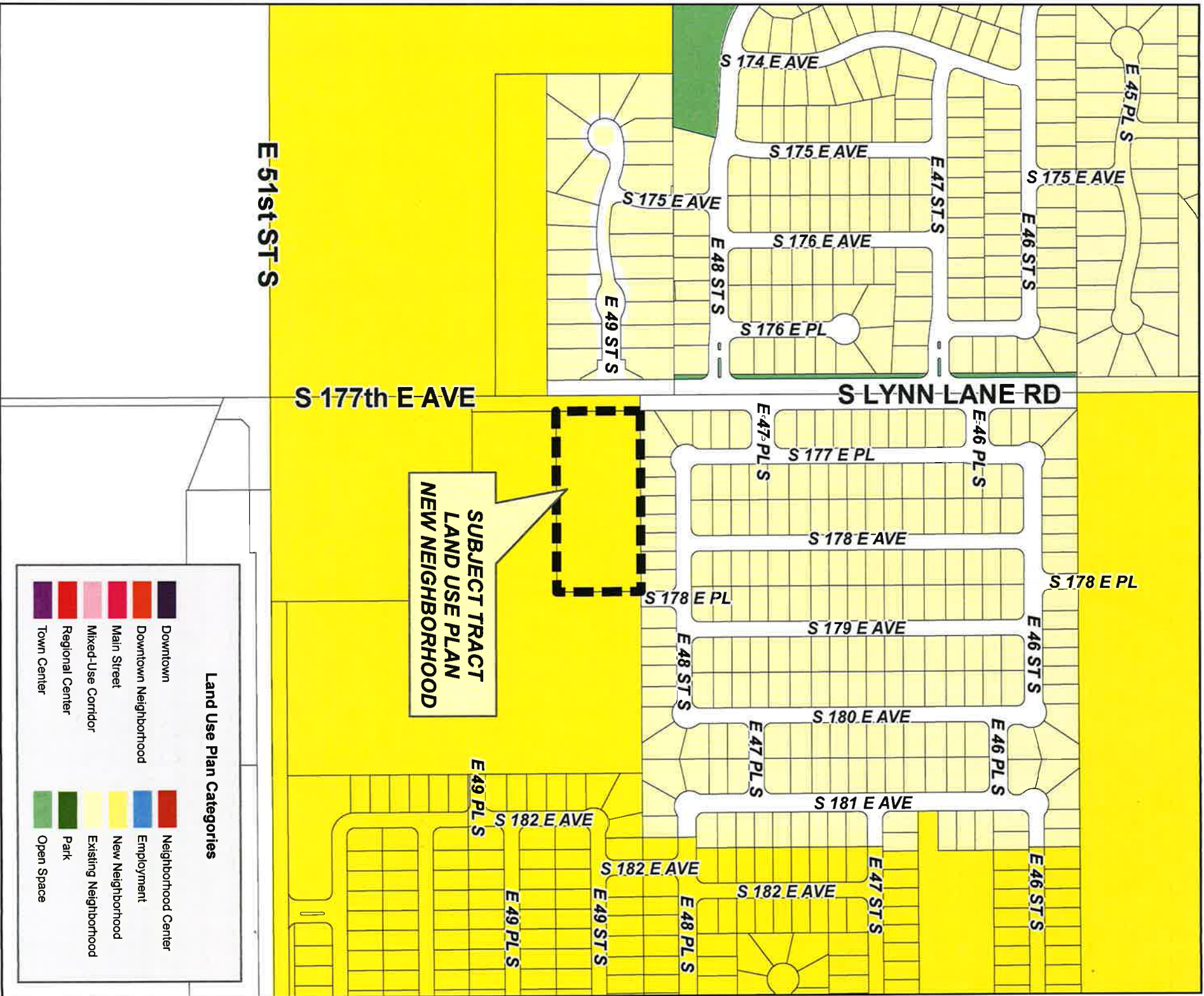


OPEN ARMS CHILD DEVELOPMENT CENTER^{TEC}

19-14 25

10.8





OPEN ARMS CHILD DEVELOPMENT CENTER

19-14 25

Land Use Plan Categories			
	Downtown		Neighborhood Center
	Downtown Neighborhood		Employment
	Main Street		New Neighborhood
	Mixed-Use Corridor		Existing Neighborhood
	Regional Center		Park
	Town Center		Open Space

10.9





Tulsa Metropolitan Area
Planning Commission

Case : Village Congregation Church

Preliminary Subdivision Plat

Hearing Date: August 19, 2015

Case Report Prepared by:

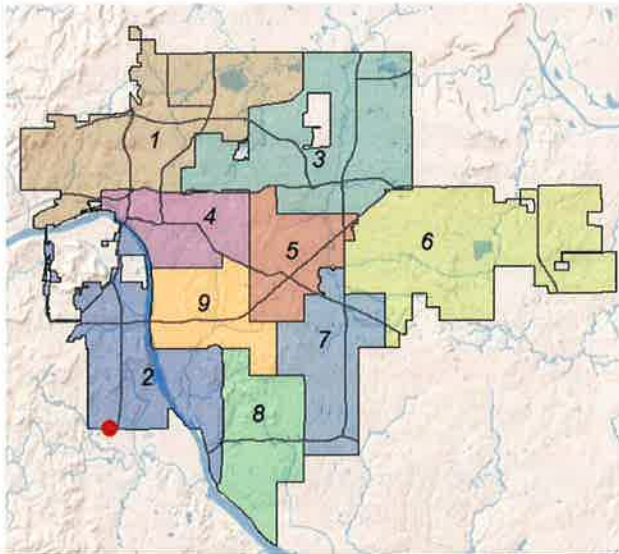
Diane Fernandez

Owner and Applicant Information:

Applicant: JR Donelson, JR Donelson INC.

Owner: Village Congregation Church.

Location Map:
(shown with City Council Districts)



Applicant Proposal:

Approval of Preliminary Subdivision Plat

Tract Size: 2.32 ± acres

Location: West of the northwest corner of West 91st Street South and South Union Avenue

Zoning:

Existing Zoning: RS-3 with BOA 21163 for a church use

Staff Recommendation:

Staff recommends **approval**.

City Council District: 2

Councilor Name: Jeannie Cue

County Commission District: 2

Commissioner Name: Karen Keith

EXHIBITS:

- INCOG Aerials
- INCOG Case Map
- Subdivision Map
- Growth and Stability Map
- Land Use Map
- City Limits Map

11.1

PRELIMINARY SUBDIVISION PLAT

Village Congregation Church - (CD 2)

West of the northwest corner of West 91st Street South and South Union Avenue

This plat consists of 1 Lot, 1 Block, on 2.32 acres.

The following issues were discussed August 6, 2015, at the Technical Advisory Committee (TAC) meeting:

1. **Zoning:** The property is zoned RS-3 (residential single family) with Board of Adjustment case 21163 for a church use.
2. **Streets:** Twenty five feet of right of way next to property line is also called out as 15 feet. In section 1.1 of covenants include right of way dedication. Include section on limits of no access in covenants.
3. **Sewer:** The septic easement needs to encompass the lateral field as well as the septic tank. Section 1-2 of the Deed of Dedication needs to include sanitary sewer along with all references to water and storm sewer. Section 1-2-f needs to be in its own section since it is a private easement and is not going to be maintained by the City of Tulsa. The septic easement can be closed after the owner has connected to the public sanitary sewer system. A 15 foot by 15 foot septic easement is not large enough, provide a larger septic easement.
4. **Water:** Add date of preparation stamp on face of plat. Use standard approved covenants language. No conceptual drawing submitted.
5. **Storm Drainage:** An on-site stormwater detention easement is required.
6. **Utilities: Telephone, Electric, Gas, Cable, Pipeline, Others:** No comment.
7. **Other: Fire:** No comment without conceptual plan.
8. **Other: GIS:** Add section number 15 in middle of location map. Remove the extra parcel lines in the location map. Label project location. . Submit control data sheet. Need address caveat. Fix legal description. Clarify bearing/distance label. Add in plat description title "An addition to the City of Tulsa, Tulsa County, Oklahoma. Add wording "date of preparation". **Airport:** Need site plan on the building for comments.

11.2

Staff recommends **APPROVAL** of the preliminary subdivision plat with the TAC recommendations and the special and standard conditions listed below.

Waivers of Subdivision Regulations:

1. None requested.

Special Conditions:

1. The concerns of the Development Services and Engineering Services staffs must be taken care of to their satisfaction.

Standard Conditions:

1. Utility easements shall meet the approval of the utilities. Coordinate with Subsurface Committee if underground plant is planned. Show additional easements as required. Existing easements shall be tied to or related to property line and/or lot lines.
2. Water and sanitary sewer plans shall be approved by the Public Works Department prior to release of final plat. (Include language for W/S facilities in covenants.)
3. Pavement or landscape repair within restricted water line, sewer line, or utility easements as a result of water or sewer line or other utility repairs due to breaks and failures shall be borne by the owner(s) of the lot(s).
4. Any request for creation of a Sewer Improvement District shall be submitted to the Public Works Department Engineer prior to release of final plat.
5. Paving and/or drainage plans (as required) shall be approved by the Public Works Department.
6. Any request for a Privately Financed Public Improvement (PFPI) shall be submitted to the Public Works Department.
7. A topography map shall be submitted for review by TAC (Subdivision Regulations). (Submit with drainage plans as directed.)
8. Street names shall be approved by the Public Works Department and shown on plat.
9. All curve data, including corner radii, shall be shown on final plat as applicable.
10. Bearings, or true N/S, etc., shall be shown on perimeter of land being platted or other bearings as directed by the County Engineer.
11. All adjacent streets, intersections and/or widths thereof shall be shown on plat.

11.3

12. It is recommended that the developer coordinate with the Public Works Department during the early stages of street construction concerning the ordering, purchase and installation of street marker signs. (Advisory, not a condition for plat release.)
13. It is recommended that the applicant and/or his engineer or developer coordinate with the Tulsa City/County Health Department for solid waste disposal, particularly during the construction phase and/or clearing of the project. Burning of solid waste is prohibited.
14. The method of sewage disposal and plans therefor shall be approved by the City/County Health Department. [Percolation tests (if applicable) are required prior to preliminary approval of plat.]
15. The owner(s) shall provide the following information on sewage disposal system if it is to be privately operated on each lot: type, size and general location. (This information to be included in restrictive covenants on plat.)
16. The method of water supply and plans therefor shall be approved by the City/County Health Department.
17. All lots, streets, building lines, easements, etc., shall be completely dimensioned.
18. The key or location map shall be complete.
19. A Corporation Commission letter, Certificate of Non-Development, or other records as may be on file, shall be provided concerning any oil and/or gas wells before plat is released. (A building line shall be shown on plat on any wells not officially plugged. If plugged, provide plugging records.)
20. A "Letter of Assurance" regarding installation of improvements shall be provided prior to release of final plat. (Including documents required under 3.6.5 Subdivision Regulations.)
21. Applicant is advised of his responsibility to contact the U.S. Army Corps of Engineers regarding Section 404 of the Clean Waters Act.
22. All other Subdivision Regulations shall be met prior to release of final plat.
23. All PUD standards and conditions shall be included in the covenants of the plat and adequate mechanisms established to assure initial and continued compliance with the standards and conditions.
24. Private streets shall be built to City or County standards (depending upon the jurisdiction in which the plat is located) and inspected and accepted by same prior to issuance of any building permits in the subdivision.

PLAT NO.

OWNER: VILLAGE CONGREGATION CHURCH 1825 W 91st ST, SO, Tulsa, Oklahoma 74112

CONCEPTUAL UTILITY LAYOUT Village Congregation Church A TRACT OF LAND SITUATED IN THE SE 1/4 OF THE SE 1/4 OF SECTION 15, T-18-N, R-12-E, OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA.

ENGINEER/SURVEYOR: JR DONELSON, INC 1825 SOUTH MEMORIAL DR OFFICE 100 BIXBY OKLAHOMA 74008

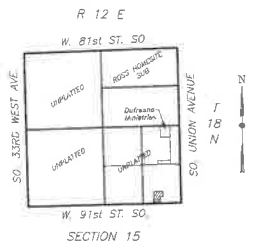
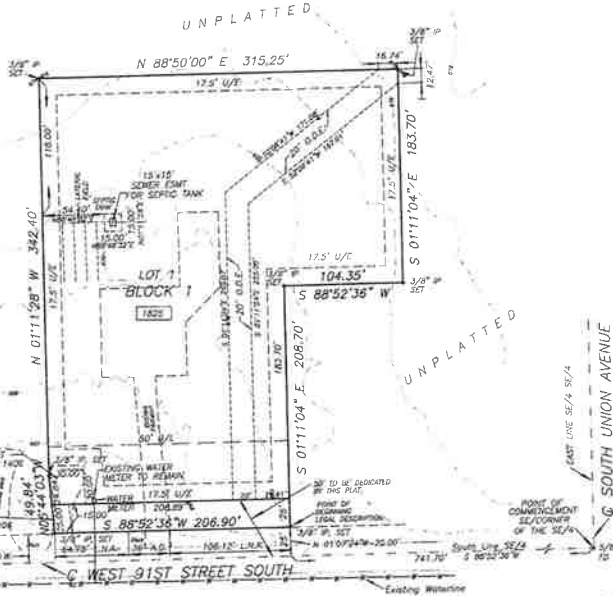


Table with columns for Title, Date, and City/County/State. Includes fields for City Engineer, City Clerk, and City Attorney.

LOCATION MAP SCALE: 1"=200' LOT DATA AREA: 2.23 ACRES DATE OF PREPARATION: 7/2/08

NOTE: 3/8" Iron Pins, were either found or set in all property corners. BASIS FOR BEARINGS: The basis for bearings is the South line of the SE 1/4 of the SE 1/4 of Section 15, T-18-N, R-12-E, with an assumed bearing of S 08°23'35" W.

LEGEND table with symbols for U/E, B/L, F/D, H.O.W., EXIST, CENTERLINE, POINT OF BEGINNING, SE/4, ADDRESS OPENING, L.N.A., O.D.E., IRON PIN, ADDRESS.

DEED OF DEDICATION AND RESTRICTIVE COVENANTS VILLAGE CONGREGATION CHURCH

KNOW ALL MEN BY THESE PRESENTS: WHEREAS, Village Congregation Church, is the sole owner in fee simple of the following described real property in Tulsa County, State of Oklahoma...

- 1. WATER, SEWER SYSTEM AND STORM DRAINAGE SERVICE
a. Owner of the Lot shall be responsible for the protection of the public water mains and storm sewers located on the lot.
b. Within the utility easement, areas depicted on the accompanying plat, the attention of grave from the contours existing upon the completion of the installation of a public water main or storm sewer or any combination thereof which would interfere with public water mains and storm sewers shall be prohibited.

SECTION 1. PUBLIC UTILITIES, EASEMENTS AND UTILITIES
1. The Owner does hereby dedicate to the public the utility easements depicted on "LOT 1" "LOT 2" easements for the several purposes of constructing, maintaining, operating, repairing and/or removing any and all public utilities, including water mains, sanitary sewers, telephone and communication lines, electric power lines and transformers, gas lines, water lines and other transmission lines, together with all appurtenant easements, poles, towers, masts, and equipment for such facilities and any other appurtenances thereto, with the right of ingress and egress to and upon the utility easements for the uses and purposes intended and provided herein by the Owner hereby retains the right to transmit, maintain, operate, lay and re-lay water lines and sewer lines, together with the right of ingress and egress for such construction.

- 2. ELECTRIC, TELEPHONE, CABLE TELEVISION AND NATURAL GAS SERVICE
3. OVERHEAD POWER LINES FOR THE SUPPLY OF ELECTRIC, TELEPHONE AND CABLE TELEVISION SERVICE
4. LMO USE
5. SIDEWALKS

The location and construction of such building as may be located upon said lot, provided that upon that the construction of such a building shall be a gas service line to a particular building, the superior of service shall therefore be deemed to have a building, permanent, and effective 100% of any investment in said lot, covering a 50-foot right extending 2.5 feet on each side of such service cable or gas line, extending from the service provider's distribution or gas main to the service entrance on the building.

1. LOT SURVIVAL: UNIMPAIR
The lot shall receive and drain, in an unobstructed manner, the storm and surface waters from within drainage areas of higher elevation and their public streets and easements. The foregoing covenants set forth in this paragraph 1 shall be enforceable by any affected lot owner and by the City of Tulsa, Oklahoma.

SECTION II. TERM, AMENDMENT, AND ENFORCEMENT.
1. The covenants and restrictions set forth herein shall be covenants which shall run with the land and which shall be binding upon and enforceable by the owner, its successors, grantees and assigns, for the perpetuity of the covenants set forth in Section I herein with respect to such covenants only, for a period of twenty (20) years, after which time such covenants and restrictions shall be extended for successive periods of ten (10) years. The covenants and restrictions may be amended or modified at any time by the Village Congregation Church.

These covenants and restrictions are hereby executed and acknowledged by Village Congregation Church and filed in the County Clerk's office in the County Records of Tulsa County, Oklahoma.

I, witness whereof, I have executed this instrument on this _____ day of _____, 20____.

STATE OF OKLAHOMA)
COUNTY OF TULSA)
This instrument was acknowledged before me on this _____ day of _____, 20____, by _____ for Village Congregation Church.

SUBSCRIBER'S CERTIFICATE
I, Charles K. Howard, a Registered Land Surveyor, in the State of Oklahoma, do hereby certify that I have carefully and accurately surveyed, subdivided, and plat the tract of land described above and that the accuracy and description herein as "Village Congregation Church" is a subdivision in Tulsa County, Oklahoma, is a representation of the survey made on the ground using generally accepted practices and means or exceeds the Oklahoma Minimum Standards for the Practice of Land Surveying.

WITNESS my hand and seal this _____ day of _____, 20____.

STATE OF OKLAHOMA)
COUNTY OF TULSA)

The foregoing Certificate of Survey was acknowledged before me on this _____ day of _____, 20____.

VILLAGE CONGREGATION CHURCH 7/1/13 SHEET 1 OF 1

11.5



VILLAGE CONGREGATION CHURCH

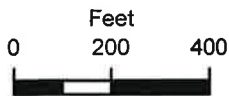
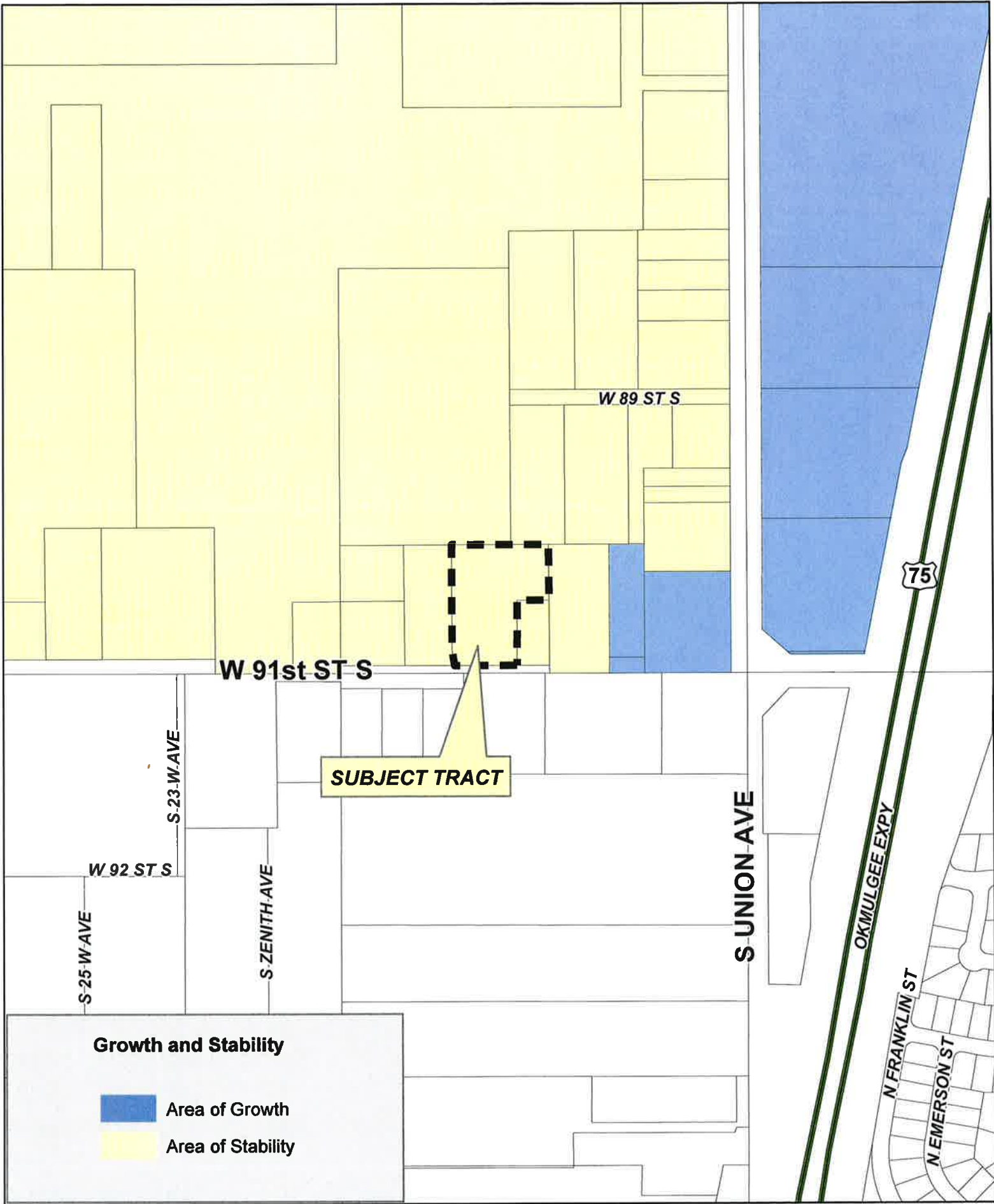


Subject Tract



Note: Graphic overlays may not precisely align with physical features on the ground.

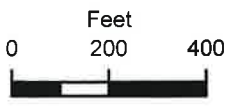
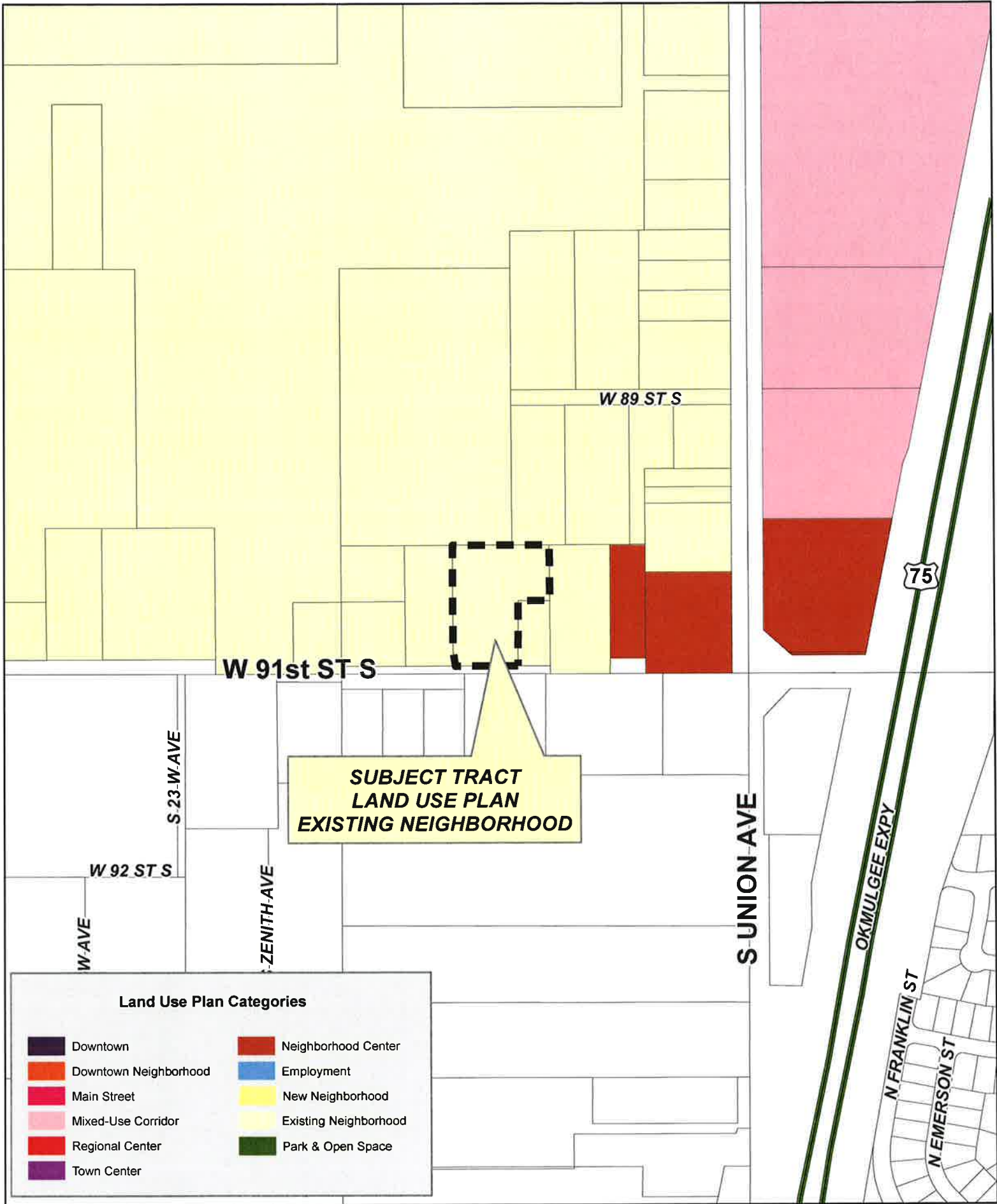
Aerial Photo Date: March 2014



VILLAGE CONGREGATION CHURCH

11.7

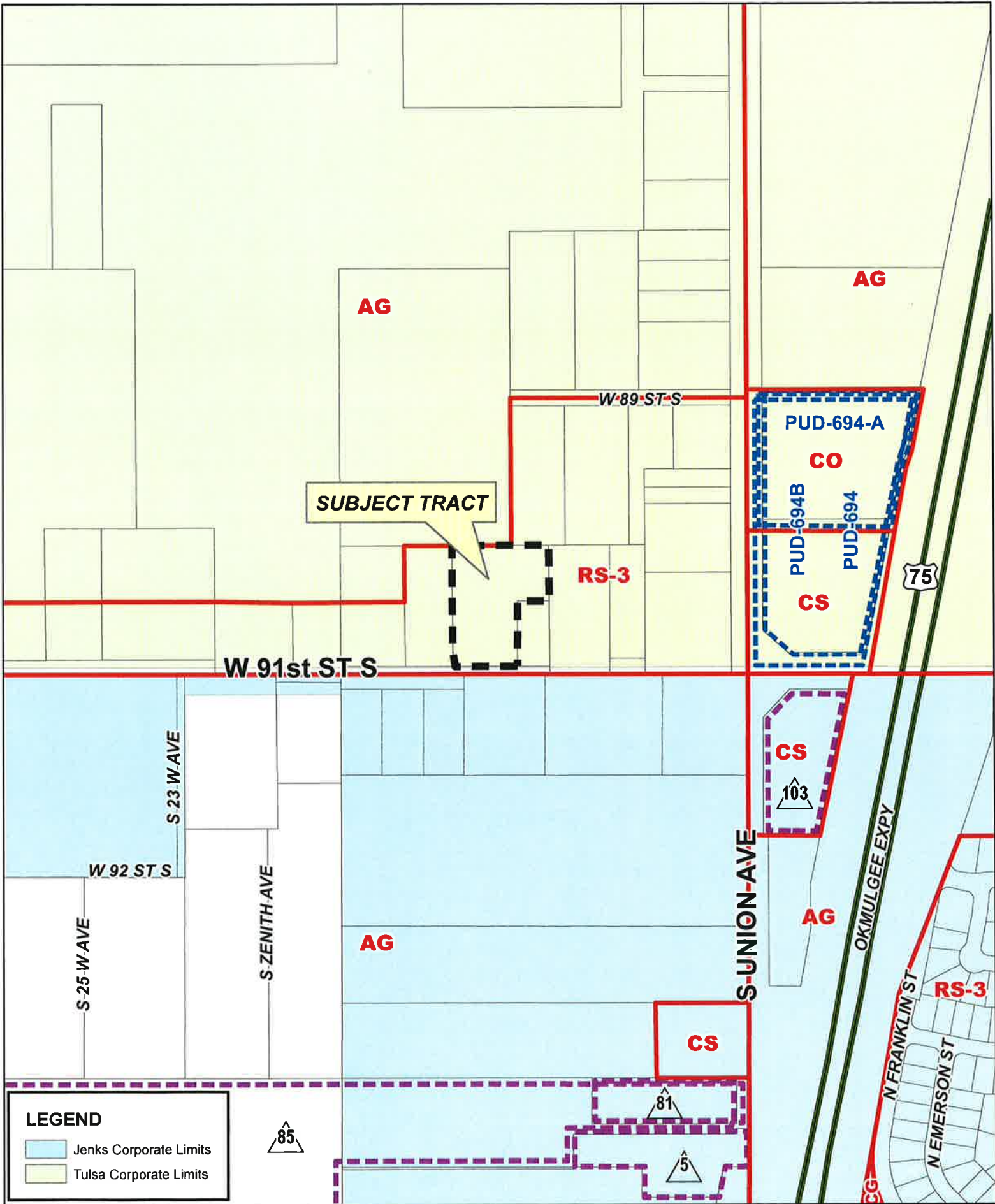




VILLAGE CONGREGATION CHURCH

11.8

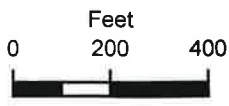




SUBJECT TRACT

LEGEND

- Jenks Corporate Limits
- Tulsa Corporate Limits



VILLAGE CONGREGATION CHURCH 11.9

18-12 15





Tulsa Metropolitan Area
Planning Commission

Case : Jenks Northwest Elementary

Preliminary Subdivision Plat

Hearing Date: August 19, 2015

Case Report Prepared by:

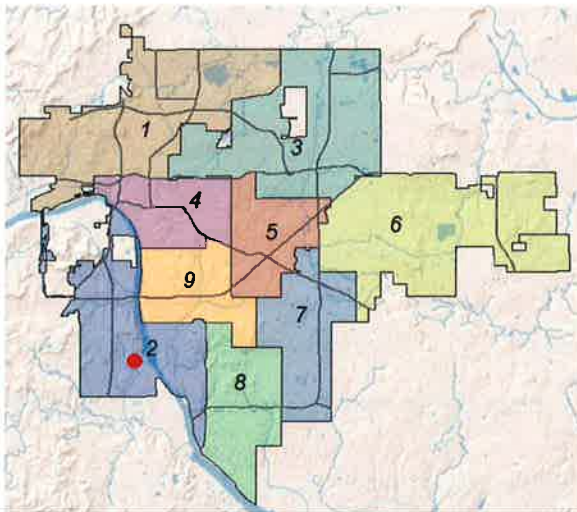
Diane Fernandez

Owner and Applicant Information:

Applicant: Carolyn Back, Wallace Engineering

Owner: Jenks Public Schools.

Location Map:
(shown with City Council Districts)



Applicant Proposal:

Approval of Preliminary Subdivision Plat

Tract Size: 24 ± acres

Location: East of the northeast corner of West 81st Street South and South Elwood Avenue

Zoning:

Existing Zoning: Planned Unit Development 742 A

Staff Recommendation:

Staff recommends **approval**.

City Council District: 2

Councilor Name: Jeannie Cue

County Commission District: 2

Commissioner Name: Karen Keith

EXHIBITS:

- INCOG Aerials
- INCOG Case Map
- Subdivision Map
- Growth and Stability Map
- Land Use Map

12.1

PRELIMINARY SUBDIVISION PLAT

Jenks Northwest Elementary - (CD 2)

North of the northeast corner of West 81st Street South and South Elwood Avenue

This plat consists of 1 Lot, 1 Block, on 24 acres.

The following issues were discussed August 6, 2015, at the Technical Advisory Committee (TAC) meeting:

1. **Zoning:** The property is zoned PUD 742 A.
2. **Streets:** Plat title says City of Jenks. This is located in the City of Tulsa. If 50 feet of right of way is being dedicated by this plat call it out as such, otherwise prove reference such as book and page. If right of way is already dedicated then modify covenant in Section I A. Development Services staff have not seen traffic studies.
3. **Sewer:** A 17.5 foot perimeter easement is required for the platted area. Show the existing 30 foot sanitary sewer easement adjacent to the east boundary line of the plat. A sanitary sewer main extension is required to provide service to the proposed platted area.
4. **Water:** Submitted for approval is a private looped water main line with fire hydrants and fire flow meters.
5. **Storm Drainage:** No comment.
6. **Utilities: Telephone, Electric, Gas, Cable, Pipeline, Others:** No comment.
7. **Other: Fire:** No comment.
8. **Other: GIS:** Remove parcel lines. Only display subdivision boundaries in the location map. Label four quarter sections as unplatted. Use metes and bounds to describe the boundary of the plat. Change the direction to stay consistent with the rest of the bearings for overland drainage easement. In location description title of plat add "An addition to the City of Tulsa, Tulsa Count, Oklahoma. Put phone number and email for owner. Put engineers CA number and renewal date. Add a bearing value under the basis of

12.2

bearing heading. There should be a 17.5 foot perimeter easement for this plat. **Airport:** An aviation easement needs to be shown on the face of the plat and standard language for the easement in the covenants. There was a question about sound attenuation for the school but it is not required at this time.

Staff recommends **APPROVAL** of the preliminary subdivision plat with the TAC recommendations and the special and standard conditions listed below.

Waivers of Subdivision Regulations:

1. None requested.

Special Conditions:

1. The concerns of the Development Services and Engineering Services staffs must be taken care of to their satisfaction.

Standard Conditions:

1. Utility easements shall meet the approval of the utilities. Coordinate with Subsurface Committee if underground plant is planned. Show additional easements as required. Existing easements shall be tied to or related to property line and/or lot lines.
2. Water and sanitary sewer plans shall be approved by the Public Works Department prior to release of final plat. (Include language for W/S facilities in covenants.)
3. Pavement or landscape repair within restricted water line, sewer line, or utility easements as a result of water or sewer line or other utility repairs due to breaks and failures shall be borne by the owner(s) of the lot(s).
4. Any request for creation of a Sewer Improvement District shall be submitted to the Public Works Department Engineer prior to release of final plat.
5. Paving and/or drainage plans (as required) shall be approved by the Public Works Department.
6. Any request for a Privately Financed Public Improvement (PFPI) shall be submitted to the Public Works Department.
7. A topography map shall be submitted for review by TAC (Subdivision Regulations). (Submit with drainage plans as directed.)
8. Street names shall be approved by the Public Works Department and shown on plat.
9. All curve data, including corner radii, shall be shown on final plat as applicable.
10. Bearings, or true N/S, etc., shall be shown on perimeter of land being

12.3

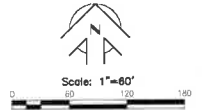
platted or other bearings as directed by the County Engineer.

11. All adjacent streets, intersections and/or widths thereof shall be shown on plat.
12. It is recommended that the developer coordinate with the Public Works Department during the early stages of street construction concerning the ordering, purchase and installation of street marker signs. (Advisory, not a condition for plat release.)
13. It is recommended that the applicant and/or his engineer or developer coordinate with the Tulsa City/County Health Department for solid waste disposal, particularly during the construction phase and/or clearing of the project. Burning of solid waste is prohibited.
14. The method of sewage disposal and plans therefor shall be approved by the City/County Health Department. [Percolation tests (if applicable) are required prior to preliminary approval of plat.]
15. The owner(s) shall provide the following information on sewage disposal system if it is to be privately operated on each lot: type, size and general location. (This information to be included in restrictive covenants on plat.)
16. The method of water supply and plans therefor shall be approved by the City/County Health Department.
17. All lots, streets, building lines, easements, etc., shall be completely dimensioned.
18. The key or location map shall be complete.
19. A Corporation Commission letter, Certificate of Non-Development, or other records as may be on file, shall be provided concerning any oil and/or gas wells before plat is released. (A building line shall be shown on plat on any wells not officially plugged. If plugged, provide plugging records.)
20. A "Letter of Assurance" regarding installation of improvements shall be provided prior to release of final plat. (Including documents required under 3.6.5 Subdivision Regulations.)
21. Applicant is advised of his responsibility to contact the U.S. Army Corps of Engineers regarding Section 404 of the Clean Waters Act.
22. All other Subdivision Regulations shall be met prior to release of final plat.
23. All PUD standards and conditions shall be included in the covenants of the plat and adequate mechanisms established to assure initial and continued compliance with the standards and conditions.
24. Private streets shall be built to City or County standards (depending upon the jurisdiction in which the plat is located) and inspected and accepted by same prior to issuance of any building permits in the subdivision.

12.4

Jenks Northwest Elementary

A Subdivision in the NW/4 SW/4 in Section 12, T-18-N, R-12-E, of the I.B. & M,
City of Jenks, Tulsa County, State of Oklahoma.



OWNER
JENKS PUBLIC SCHOOLS
205 East B Street
Jenks, OK 74037

ENGINEER
BENNETT SURVEYING, INC.
P.O. BOX 848
Chouteau, OK 74337
PHONE: (918) 476-7484
FAX: (918) 476-7485
Certificate of Authorization No. 4502
Expires June 30, 2016

ENGINEER
WALLACE ENGINEERING
200 E. Mainway Brody St
Tulsa, OK 74103
(918) 504-5855
C.A. 1480 EXP. DATE: 6/30/15
jwallace@wallaceec.com

BASIS OF BEARING
THE BEARING BASE FOR THIS SURVEY IS BASED ON THE WEST LINE OF SECTION 12, T-18-N, R-12-E AS S01°19'44"E.

MONUMENTATION
○ DENOTES A FOUND 3/8" IRON PIN
● DENOTES A SET 3/8" IRON PIN WITH CAP "CA 4502"

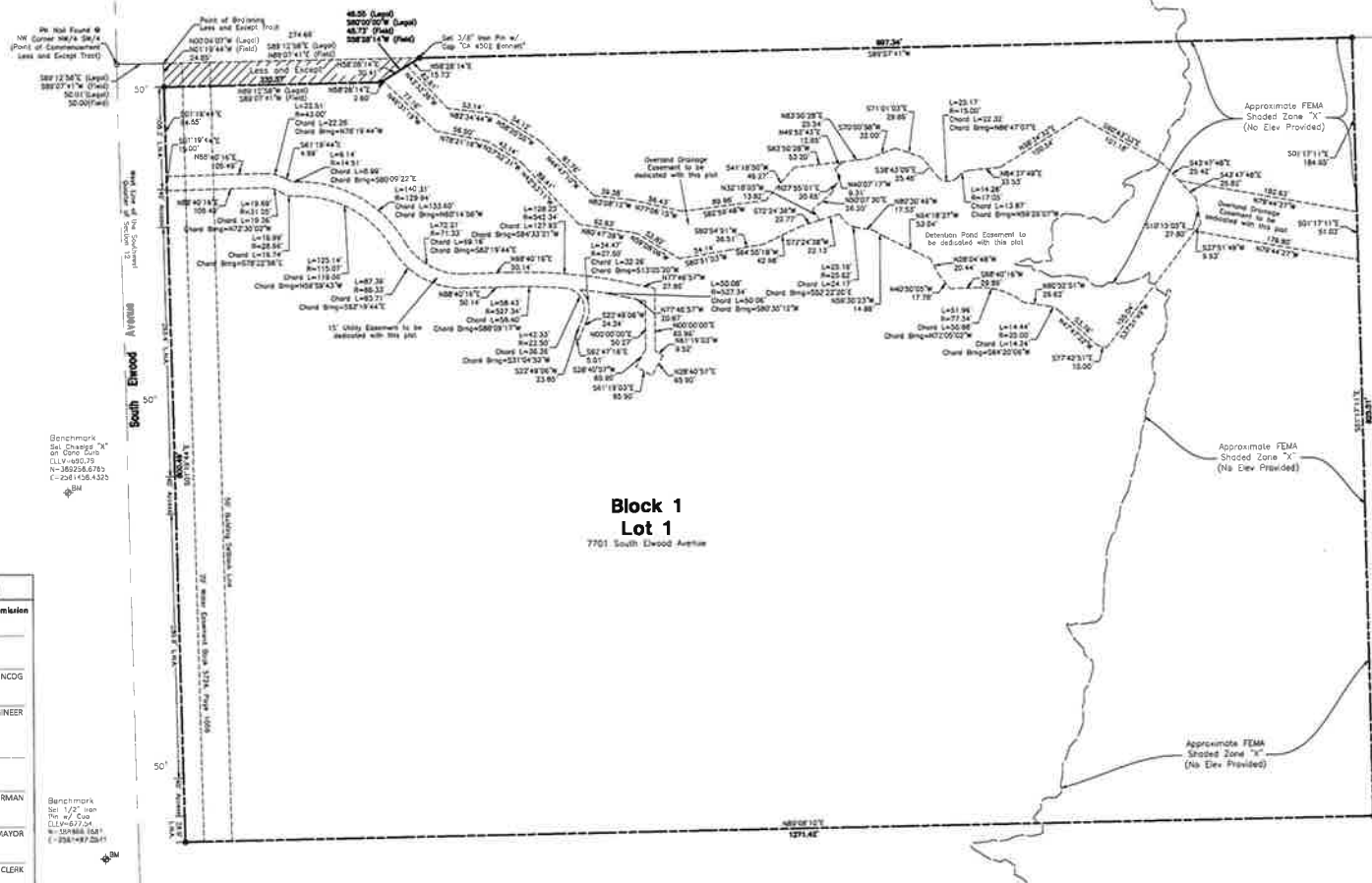
LEGEND
L.N.A. = LIMITS OF NO ACCESS
U/E = UTILITY EASEMENT
14.34 = ADDRESS

VERTICAL DATUM NOTE
THE VERTICAL DATUM FOR THIS PLAN IS BASED ON NAVD83 GPS DATA

BENCHMARK NOTE
Benchmark Set 1/2" Iron Pin w/ Cap N=2581428.675 E=2581428.432 ELEV=677.54
Benchmark Set Chislap "X" on Conc. Curb N=2581428.661 E=2581428.675 ELEV=677.54

ADDRESS DISCLAIMER NOTE:
ADDRESSES SHOWN ON THIS PLAN ARE ACCURATE AS OF THE TIME THE PLAN WAS FILED. ADDRESSES ARE SUBJECT TO CHANGE AND SHOULD NEVER BE RELIED ON IN PLACE OF THE LEGAL DESCRIPTION.

Jenks Northwest Elementary
SHEET 1 OF 2
Date of Preparation: July 26, 2015



Block 1
Lot 1
7701 South Elmwood Avenue

FINAL PLAN ENDORSEMENT OF APPROVAL	
Tulsa Metropolitan Area Planning Commission	
Approval Date: _____	
_____ TMAPC/NCDO	
CITY ENGINEER	
Council of the City of Tulsa, Oklahoma	
Approval Date: _____	
_____ CHAIRMAN	
_____ MAYOR	
_____ ATTNEY: CITY CLERK	
_____ CITY ATTORNEY	

Benchmark
Set 1/2" Iron
Pin w/ Cap
N=2581428.661
E=2581428.675
ELEV=677.54

The approval of this final plan will expire one year from the date of City Council approval if not filed in the Office of the County Clerk before that time.

12.5



JENKS NORTHWEST ELEMENTARY

126

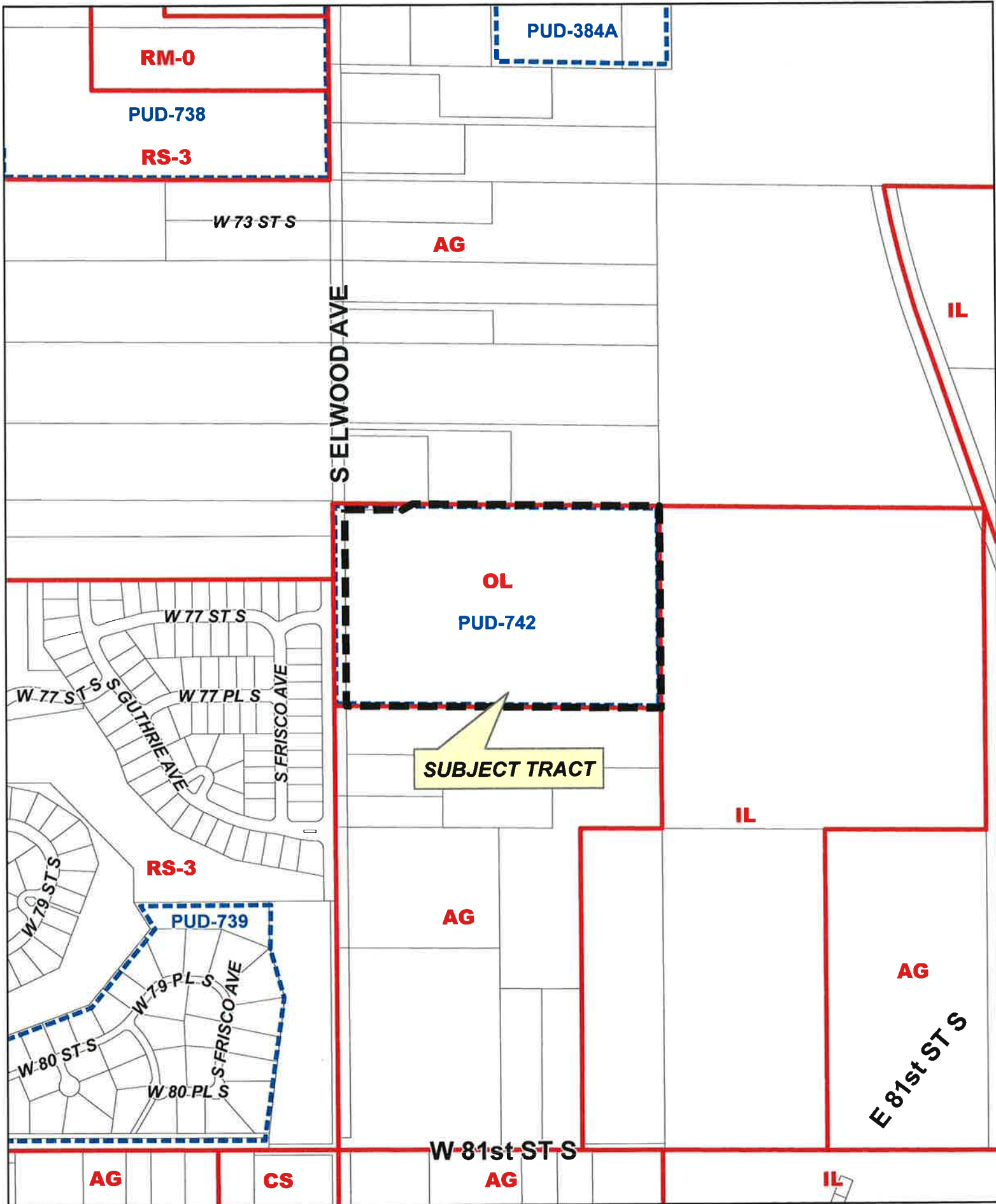


Subject Tract

18-12 12

Note: Graphic overlays may not precisely align with physical features on the ground.
Aerial Photo Date: March 2014





RM-0
PUD-738
RS-3

PUD-384A

W 73 ST S

AG

S ELWOOD AVE

IL

OL

PUD-742

SUBJECT TRACT

IL

W 77 ST S
 W 77 ST S
 S GUTHRIE AVE
 W 77 PL S
 S FRISCO AVE
 W 79 ST S
 W 79 ST S
RS-3

RS-3

AG

AG

E 81st ST S

PUD-739
 W 79 PL S
 S FRISCO AVE
 W 80 ST S
 W 80 PL S

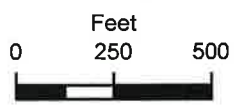
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W 81st ST S

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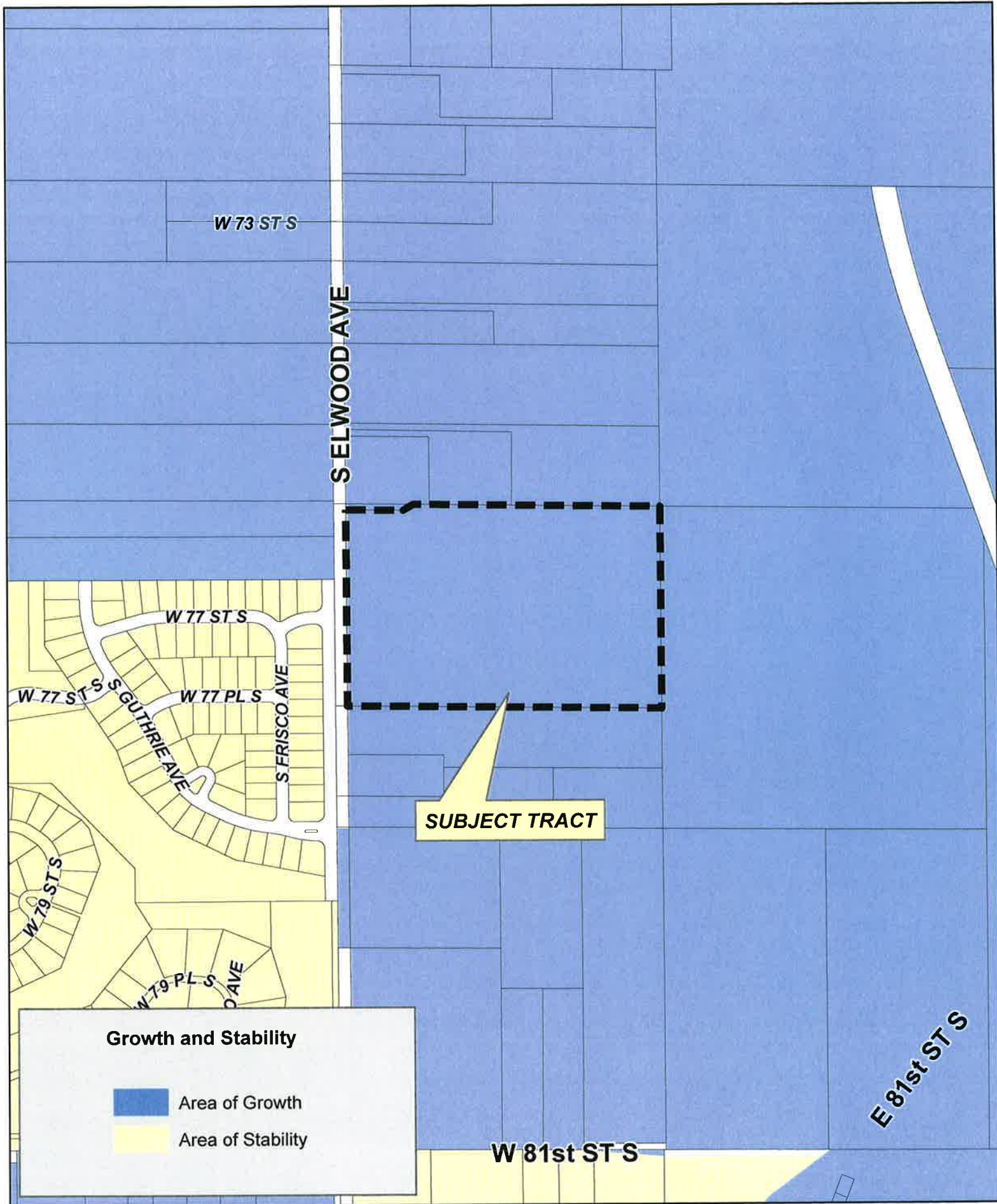
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JENKS NORTHWEST ELEMENTARY

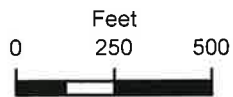
12.7





Growth and Stability

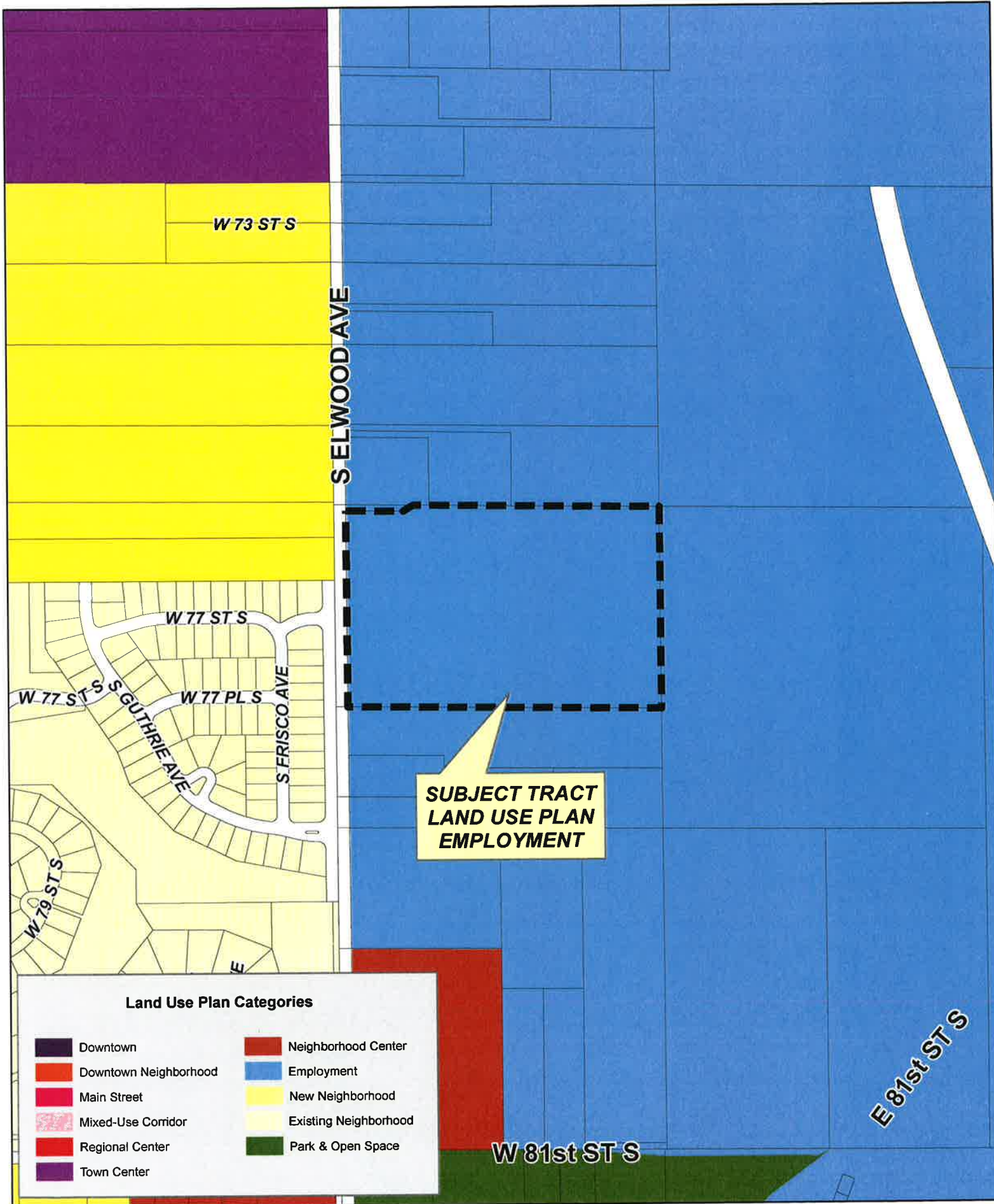
- Area of Growth
- Area of Stability



JENKS NORTHWEST ELEMENTARY

12.8





**SUBJECT TRACT
LAND USE PLAN
EMPLOYMENT**



JENKS NORTHWEST ELEMENTARY





Tulsa Metropolitan Area
Planning Commission

Case : Tulsa Senior Living Center

Preliminary Subdivision Plat

Hearing Date: August 19, 2015

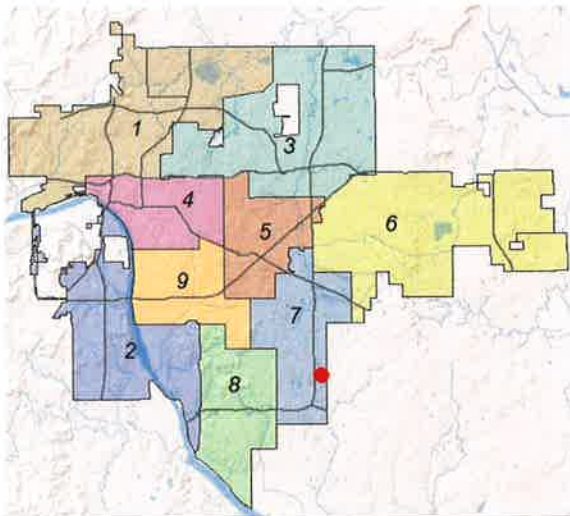
Case Report Prepared by:
Diane Fernandez

Owner and Applicant Information:

Applicant: Kevin Vanover, Impact
Engineering

Owner: JkJ Stonehaven Square LLC.

Location Map:
(shown with City Council Districts)



Applicant Proposal:

Approval of Preliminary Subdivision Plat

Tract Size: 9.38 ± acres

Location: West of southwest corner of East
81st Street South and South Garnett Road

Zoning:

Existing Zoning: Planned Unit
Development 716 to be abandoned and
new CO (corridor) pending

Staff Recommendation:

Staff recommends **approval**.

City Council District: 7

Councilor Name: Anna America

County Commission District: 1

Commissioner Name: John Smaligo

EXHIBITS:

- INCOG Aerials
- INCOG Case Map
- Subdivision Map
- Growth and Stability Map
- Land Use Map
- City Limits Map

13.1

PRELIMINARY SUBDIVISION PLAT

Tulsa Senior Living Center - (CD 7)

West of southwest corner of East 81st Street South and South Garnett Road

The plat consists of 2 Lots, 1 Block, on 9.38 acres.

The following issues were discussed August 6, 2015, at the Technical Advisory Committee (TAC) meeting:

1. **Zoning:** The property is zoned PUD 716 to be abandoned and new CO (corridor) zoning.
2. **Streets:** On 107 East Avenue there should be a total right of way of 50 feet, 25 feet from center line. If only 20 feet is currently available then dedicate additional 6 feet of right of way. 81st Street is a secondary arterial with 100 feet of right of way requirement, 50 feet from section line. Provide reference for right of way dedication along both 81st Street and 107th East Avenue. Street does not exist along the 298 feet of west property line where LNA is shown. Remove LNA and call out plat name of property to west.
3. **Sewer:** A sanitary sewer mainline extension must be constructed to serve the northern lot, and possibly the northern portion of the southern lot. You will need to get permission from the pipeline and communication line easement owners in order to cross the easements for sanitary sewer service line access to the existing sanitary sewer main. If the sewer main is extended from sanitary sewer manhole #630, then the developer must pay \$700 per acre Broken arrow Excess Capacity sewer fees; and \$1128.03 per acre Excess Capacity fees to the El Paseo Excess Capacity Sanitary Sewer Main extension contract, project #2841-E. A perimeter utility easement will be required along the west boundary line of the plat as well.

Water: Along South 129th East Avenue a 12 inch public water main line exists for future water service connections for the proposed building.
5. **Storm Drainage:** No comment.
6. **Utilities: Telephone, Electric, Gas, Cable, Pipeline, Others:** No comment.
7. **Other: Fire:** No comment.
8. **Other: GIS :** Only display subdivision boundaries in the location map. Add all missing subdivisions in location map. Label the township, range, section, street names, scale, etc. in the location map. Submit control data sheet. Fix plat scale and written scale. In title of plat add "An addition to the City of Tulsa, Tulsa County, Oklahoma. Use larger and bolder text font. State basis of bearing for plat. Add addresses for lots. Add address caveat. Label lot and block numbers. Legal needs to match plat. Need to verify plat for closure. Correct bearing and distances. There should be a 17.5 foot easement on the east and south. **Explorer Pipeline:** Agree to plat proposal.

Staff recommends **APPROVAL** of the preliminary subdivision plat with the TAC recommendations and the special and standard conditions listed below.

Waivers of Subdivision Regulations:

1. None requested.

Special Conditions:

1. The concerns of the Development Services and Engineering Services staffs must be taken care of to their satisfaction.

Standard Conditions:

1. Utility easements shall meet the approval of the utilities. Coordinate with Subsurface Committee if underground plant is planned. Show additional easements as required. Existing easements shall be tied to or related to property line and/or lot lines.
2. Water and sanitary sewer plans shall be approved by the Public Works Department prior to release of final plat. (Include language for W/S facilities in covenants.)
3. Pavement or landscape repair within restricted water line, sewer line, or utility easements as a result of water or sewer line or other utility repairs due to breaks and failures shall be borne by the owner(s) of the lot(s).
4. Any request for creation of a Sewer Improvement District shall be submitted to the Public Works Department Engineer prior to release of final plat.
5. Paving and/or drainage plans (as required) shall be approved by the Public Works Department.
6. Any request for a Privately Financed Public Improvement (PFPI) shall be submitted to the Public Works Department.
7. A topography map shall be submitted for review by TAC (Subdivision Regulations). (Submit with drainage plans as directed.)
8. Street names shall be approved by the Public Works Department and shown on plat.
9. All curve data, including corner radii, shall be shown on final plat as applicable.
10. Bearings, or true N/S, etc., shall be shown on perimeter of land being platted or other bearings as directed by the County Engineer.
11. All adjacent streets, intersections and/or widths thereof shall be shown on plat.
12. It is recommended that the developer coordinate with the Public Works

Department during the early stages of street construction concerning the ordering, purchase and installation of street marker signs. (Advisory, not a condition for plat release.)

13. It is recommended that the applicant and/or his engineer or developer coordinate with the Tulsa City/County Health Department for solid waste disposal, particularly during the construction phase and/or clearing of the project. Burning of solid waste is prohibited.
14. The method of sewage disposal and plans therefor shall be approved by the City/County Health Department. [Percolation tests (if applicable) are required prior to preliminary approval of plat.]
15. The owner(s) shall provide the following information on sewage disposal system if it is to be privately operated on each lot: type, size and general location. (This information to be included in restrictive covenants on plat.)
16. The method of water supply and plans therefor shall be approved by the City/County Health Department.
17. All lots, streets, building lines, easements, etc., shall be completely dimensioned.
18. The key or location map shall be complete.
19. A Corporation Commission letter, Certificate of Non-Development, or other records as may be on file, shall be provided concerning any oil and/or gas wells before plat is released. (A building line shall be shown on plat on any wells not officially plugged. If plugged, provide plugging records.)
20. A "Letter of Assurance" regarding installation of improvements shall be provided prior to release of final plat. (Including documents required under 3.6.5 Subdivision Regulations.)
21. Applicant is advised of his responsibility to contact the U.S. Army Corps of Engineers regarding Section 404 of the Clean Waters Act.
22. All other Subdivision Regulations shall be met prior to release of final plat.
23. All PUD standards and conditions shall be included in the covenants of the plat and adequate mechanisms established to assure initial and continued compliance with the standards and conditions.
24. Private streets shall be built to City or County standards (depending upon the jurisdiction in which the plat is located) and inspected and accepted by same prior to issuance of any building permits in the subdivision.

Fernandez, Diane

From: MICHAEL ROBERTSON <mike@cherrystreetprintshop.com>
Sent: Wednesday, August 12, 2015 12:01 PM
To: Fernandez, Diane
Subject: Protest to Tulsa Senior Living Center

We wish to enter a very strong protest to the Tulsa Senior Living Center (107th E. Ave. & E. 81st St. as it is current configured. With proposed exits onto 107th E. Ave. this will make a current bad traffic situation much worse. At present, we have drivers swinging wide around the 90 degree curve where one of the proposed exits onto 107th E. Ave is shown. Excessive speed and either south bound cars swinging wide or north bound cars cutting inside the curve creates a very hazardous condition. Morning and afternoon, there are multiple Union School District buses using this street as entrance and exit from Jefferson Elementary School along with a large number of parents picking and dropping off children. At times, the north-bound cars are backed up around the 90 degree corner waiting on the signal at 107th E. Ave & 81st St. to cycle. In addition, south-bound cars are left of center passing the entrance/exit to our development. Recently, there has been an accident involving a car exiting/entering from our development and there have been many near misses. We have had several conversations with Traffic Engineering representatives in the past, however, they insist there is not a problem along the street. Their inspector did not visit when school was in session so he found no problem. We have asked for striping and speed limit signs with no success. Previously the Union Transportation Director insisted his buses did not use 107th E. Ave. At some point, there will be a tragedy-it is just a matter of time. No Parking signs were installed on the west side of 107th E. Ave. along the Stonehaven Villas property. However, they were pulled out of the ground shortly after they were installed and they were not replaced. We need no more traffic on 107th E. Ave. unless positive steps are taken to mitigate some of these issues.

Thank You,

Michael L. & Patricia L. Robertson
11110 E. 83rd St.
Tulsa, OK 74133
(918) 806-2522
mike@cherrystreetprintshop.com

PRELIMINARY PLAT TULSA SENIOR LIVING CENTER

INCLUDED IN CORRIDOR DEVELOPMENT PLAN Z-6054-SP-9
A TRACT OF LAND IN THE NORTHEAST QUARTER (NE/4) OF SECTION 18, TOWNSHIP 18 NORTH, RANGE 14 EAST, A SUBDIVISION OF THE CITY OF TULSA, TULSA COUNTY, OKLAHOMA

PLAT NO. _____

FINAL PLAT
CERTIFICATE OF APPROVAL

I hereby certify that this plat was approved by the Tulsa Metropolitan Area Planning Commission on _____

TMAPC/INCOG OFFICIAL _____

This approval is void if this plat is not filed in the Office of the County Clerk on or before _____

CITY ENGINEER _____

APPROVED _____ by the Council of the City of Tulsa, Oklahoma.

Chairman _____

Mayor _____

Attest: City Clerk _____

Approved: City Attorney _____

OWNER (Lot 1):
COLUMBIA PACIFIC ADVISORS, LLC
ATTN: BILL HARDT
1910 FAIRVIEW AVENUE E., SUITE 200
SEATTLE, WA 98102
PHONE (206) 728-9063
E-MAIL: INFO@COPAC.COM

ENGINEER:
IMPACT ENGINEERING AND PLANNING, PLLC
KEVIN VANOVER, P.E. NO. 20876
OK C.A. No. 5798, EXPIRES 03/31/2017
109 N. BIRCH STREET, SUITE 200
OWASSO, OK 74055
PHONE (918) 376-4224
E-MAIL: KVANOVER@IMPACT-ENG.NET

OWNER (Lot 2):
JKJ STONEHAVEN SQUARE, LLC
ATTN: BART JAMES
7910 SOUTH 101st EAST AVENUE
TULSA, OK 74133
PHONE (918) 495-1550
E-MAIL: JKJ@TULSAJKJCO.COM

SURVEYOR:
ATLAS LAND OFFICE
ATTN: ALBERT JONES II, P.L.S. NO. 1580
CA #6752 EXP. 6/30/2016
202 SOUTH MAIN
WAGONER, OKLAHOMA, 74467
PHONE: 918-465-9957
EMAIL: AJ@ATLASLANDOFFICE.COM

Legal Description (Title Commitment)

A TRACT OF LAND THAT IS PART OF THE NORTHEAST QUARTER (NE/4) OF SECTION EIGHTEEN (18), TOWNSHIP EIGHTEEN NORTH (18N), RANGE FOURTEEN EAST (14E), OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, BEING DESCRIBED AS FOLLOWS, TO-WIT:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION EIGHTEEN (18); THENCE S 89°04'29" W ALONG THE NORTHERLY LINE OF SAID SECTION EIGHTEEN (18) FOR 674.32 FEET; THENCE S 00°55'31" E FOR 50.00 FEET TO THE POINT OF BEGINNING OF SAID TRACT OF LAND; THENCE S 01°16'37" E PARALLEL WITH THE EASTERLY LINE OF SECTION EIGHTEEN (18) FOR 705.01 FEET; THENCE S 89°04'29" W PARALLEL WITH THE NORTHERLY LINE OF SECTION EIGHTEEN (18) FOR 580.40 FEET; THENCE N 01°16'37" W PARALLEL WITH THE EASTERLY LINE OF SECTION EIGHTEEN (18) FOR 875.01 FEET; THENCE N 89°04'29" E FOR 15.79 FEET; THENCE N 00°55'31" W FOR 30.00 FEET; THENCE N 89°04'29" E PARALLEL WITH AND 50.00 FEET SOUTHERLY OF THE NORTHERLY LINE OF SECTION EIGHTEEN (18) FOR 564.43 FEET TO THE POINT OF BEGINNING.

SAID TRACT CONTAINING 4.0670336 AC OR 9.38 ACRES MORE OR LESS.

LEGEND

--- EXISTING PROPERTY LINE

--- PROPOSED PROPERTY LINE

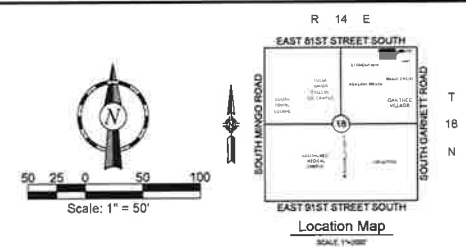
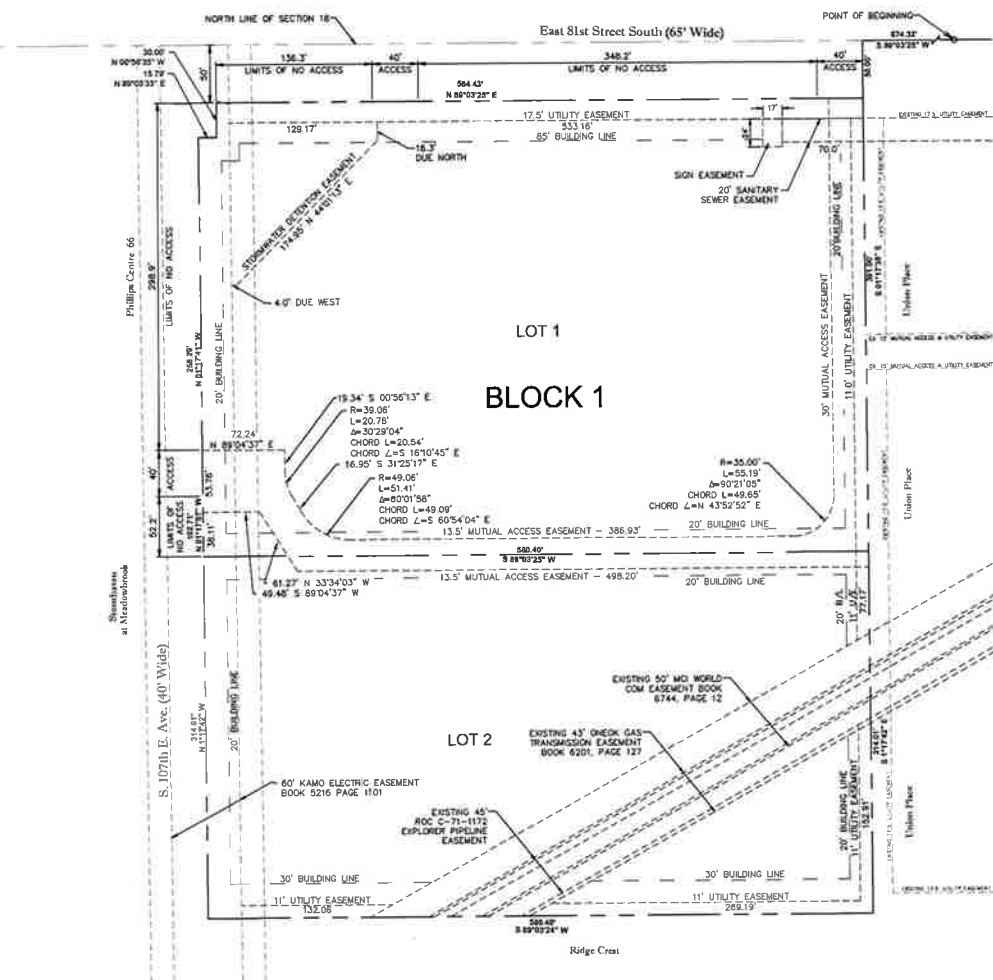
--- SECTION LINE / 4 SECTION LINE

--- PROPOSED EASEMENT LINE

--- EXISTING EASEMENT LINE

--- PROPOSED BUILDING SETBACK LINE

SUBDIVISION CONTAINS
2 LOTS IN 1 BLOCK
GROSS SUBDIVISION AREA: 9.38 ACRES
DATE OF PREPARATION: JULY 27, 2015



CERTIFICATE OF OWNERSHIP

LOT 1

IN WITNESS WHERE OF, THE UNDERSIGNED, BEING THE DECLARANT HEREIN HAS HERUNTO SET ITS HAND AND SEAL THIS _____ DAY OF _____ 2015.

BY: _____
BILL HARDT
MANAGER/CEO

STATE OF OKLAHOMA }
COUNTY OF TULSA } SS.

BEFORE ME THE UNDERSIGNED, NOTARY PUBLIC, IN AND FOR SAID COUNTY AND STATE ON THIS _____ DAY OF _____ 2015, PERSONALLY APPEARED BILL HARDT TO ME KNOWN TO BE THE IDENTICAL PERSON WHO EXECUTED THE FOREGOING DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS AS BILL HARDT OF COLUMBIA PACIFIC ADVISORS, LLC, A WASHINGTON STATE COMPANY, AND ACKNOWLEDGED TO ME THAT HE AND VOLUNTARILY ACT AND DEED OF SAID COMPANY FOR THE USES AND PURPOSES THEREIN SET FORTH.

WITNESS MY HAND AND SEAL THIS DAY AND YEAR ABOVE WRITTEN.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

COMMISSION NO: _____

LOT 2

IN WITNESS WHERE OF, THE UNDERSIGNED, BEING THE DECLARANT HEREIN HAS HERUNTO SET ITS HAND AND SEAL THIS _____ DAY OF _____ 2015.

BY: _____
BART JAMES
MANAGER/CEO

STATE OF OKLAHOMA }
COUNTY OF TULSA } SS.

BEFORE ME THE UNDERSIGNED, NOTARY PUBLIC, IN AND FOR SAID COUNTY AND STATE ON THIS _____ DAY OF _____ 2015, PERSONALLY APPEARED BART JAMES TO ME KNOWN TO BE THE IDENTICAL PERSON WHO EXECUTED THE FOREGOING DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS AS BART JAMES OF JKJ STONEHAVEN SQUARE, LLC, AN OKLAHOMA LIMITED LIABILITY COMPANY, AND ACKNOWLEDGED TO ME THAT HE AND VOLUNTARILY ACT AND DEED OF SAID COMPANY FOR THE USES AND PURPOSES THEREIN SET FORTH.

WITNESS MY HAND AND SEAL THIS DAY AND YEAR ABOVE WRITTEN.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

COMMISSION NO: _____

CERTIFICATE OF SURVEY

ATLAS LAND OFFICE, LLC BY THE UNDERSIGNED AND REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF OKLAHOMA DOES HEREBY CERTIFY THAT THE TRACT OF LAND DESCRIBED HEREON HAS BEEN CAREFULLY SURVEYED, SUBDIVIDED AND PLATTED AND THAT THE PLAT ATTACHED HERETO AND DESIGNATED AS "TULSA SENIOR LIVING CENTER" IS A TRUE REPRESENTATION OF SAID SURVEY AND IS IN CONFORMANCE WITH THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

ALBERT JONES II, P.L.S. NO. 1580

STATE OF OKLAHOMA
COUNTY OF TULSA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS _____ DAY OF _____ 2015 BY NAME _____

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____



Subject Tract

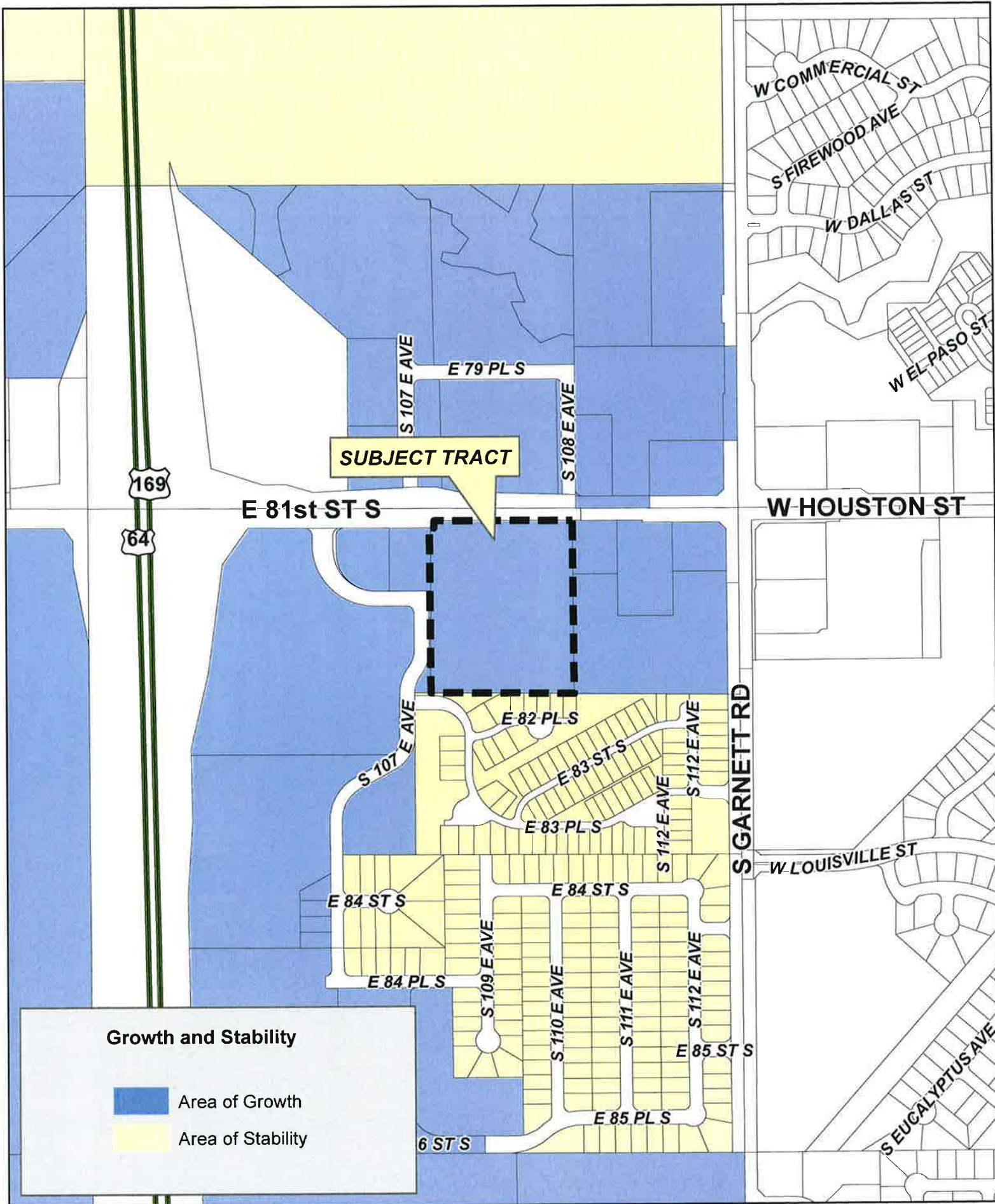
18-14 18

TULSA SENIOR LIVING CENTER

13.7

Note: Graphic overlays may not precisely align with physical features on the ground.
Aerial Photo Date: March 2014

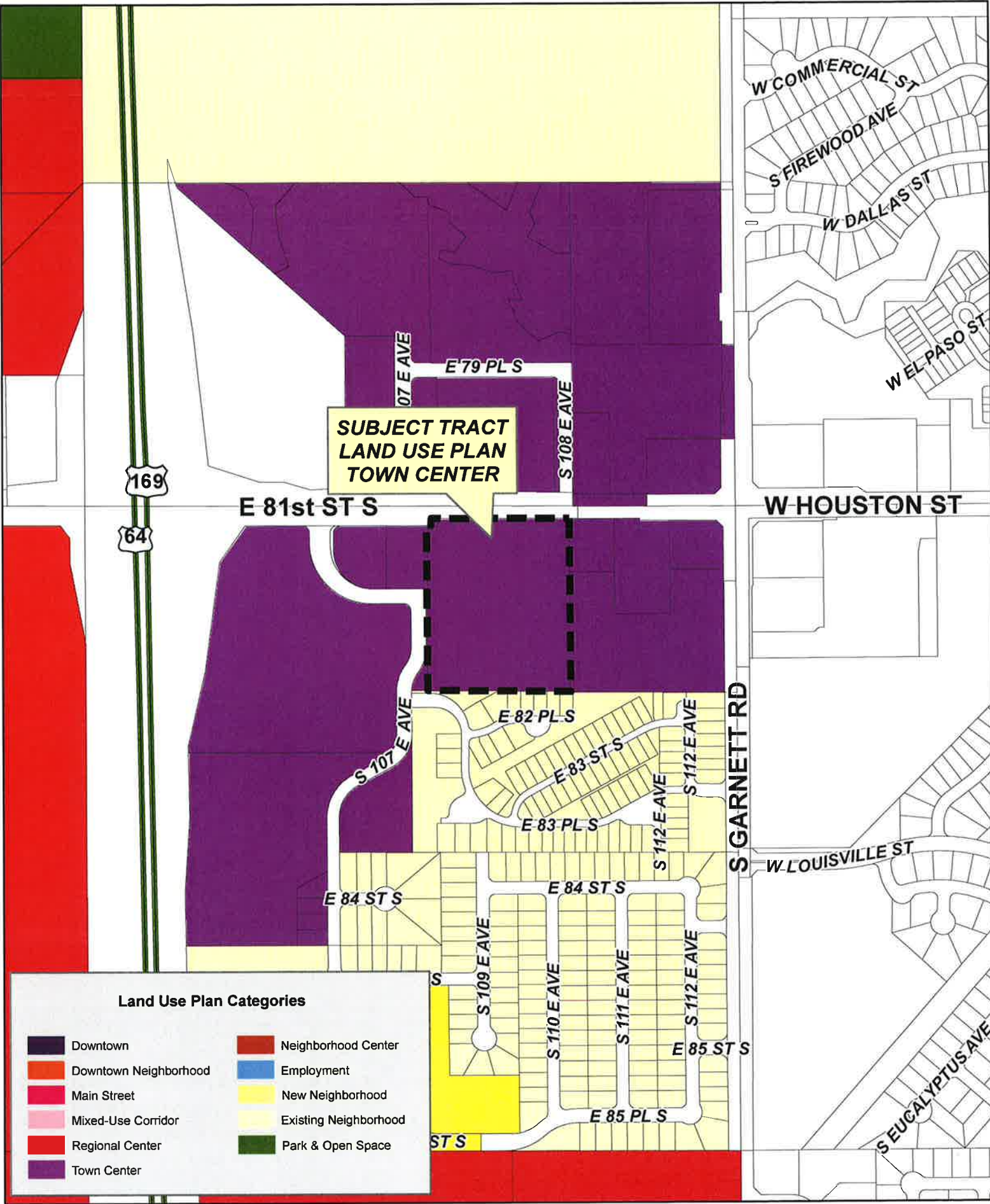




TULSA SENIOR LIVING CENTER

13.8

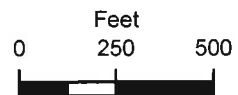




**SUBJECT TRACT
LAND USE PLAN
TOWN CENTER**

Land Use Plan Categories

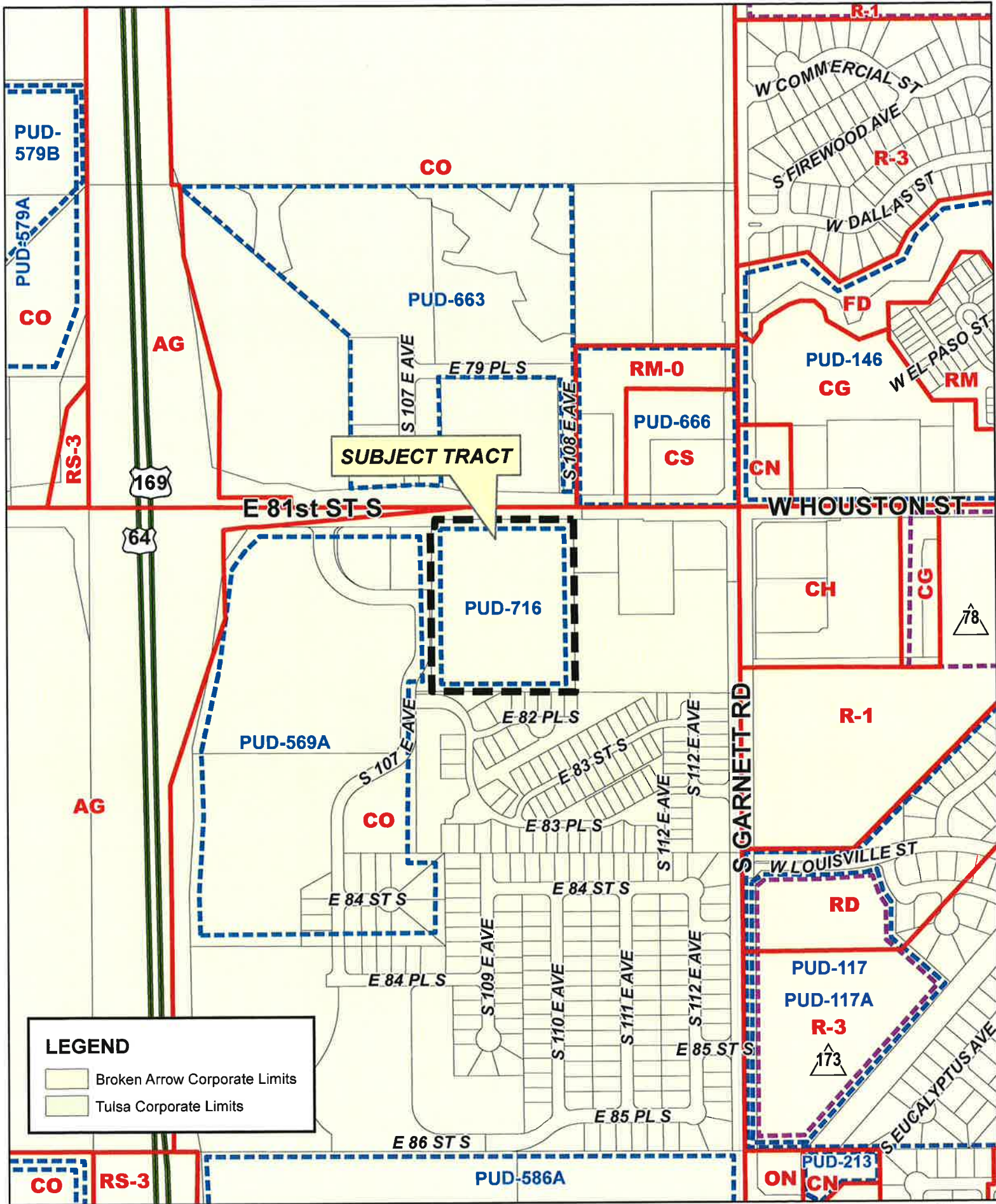
- | | |
|--|---|
|  Downtown |  Neighborhood Center |
|  Downtown Neighborhood |  Employment |
|  Main Street |  New Neighborhood |
|  Mixed-Use Corridor |  Existing Neighborhood |
|  Regional Center |  Park & Open Space |
|  Town Center | |



TULSA SENIOR LIVING CENTER

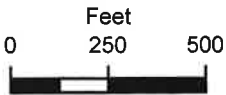
13.9



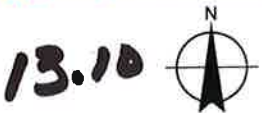


LEGEND

- Broken Arrow Corporate Limits
- Tulsa Corporate Limits



TULSA SENIOR LIVING CENTER



PLAT WAIVER

August 19, 2015

PUD 271 H- Southeast corner of South 129th East Avenue and 43rd Place South, (CD 6)

The platting requirement is being triggered by a major amendment to PUD 271 H.

Staff provides the following information from TAC for their August 6, 2015 meeting:

ZONING: TMAPC Staff: The property has been previously platted.

STREETS: Limits of No Access along 129 East Avenue need to be modified. Sidewalks required per subdivision regulations. Sidewalks shall be constructed along South 43rd Place and South 29th East Avenue within a dedicated easement or within the right of way, with a minimum of five feet in width, and constructed in accordance with City of Tulsa standards.

SEWER: No comment.

WATER: No comment.

STORMWATER: On-site stormwater detention easement will be required. Stormwater discharge must be directed to 129th Street and may exceed the street drainage criteria, if it does interception of runoff will be required before discharging to the street. Contact Michail Holmes, Senior Hydrologist, COT (City of Tulsa) Development Services.

FIRE: No comment.

UTILITIES: No comment.

Staff can recommend **APPROVAL** of the plat waiver as most requirements have been met for the platted property.

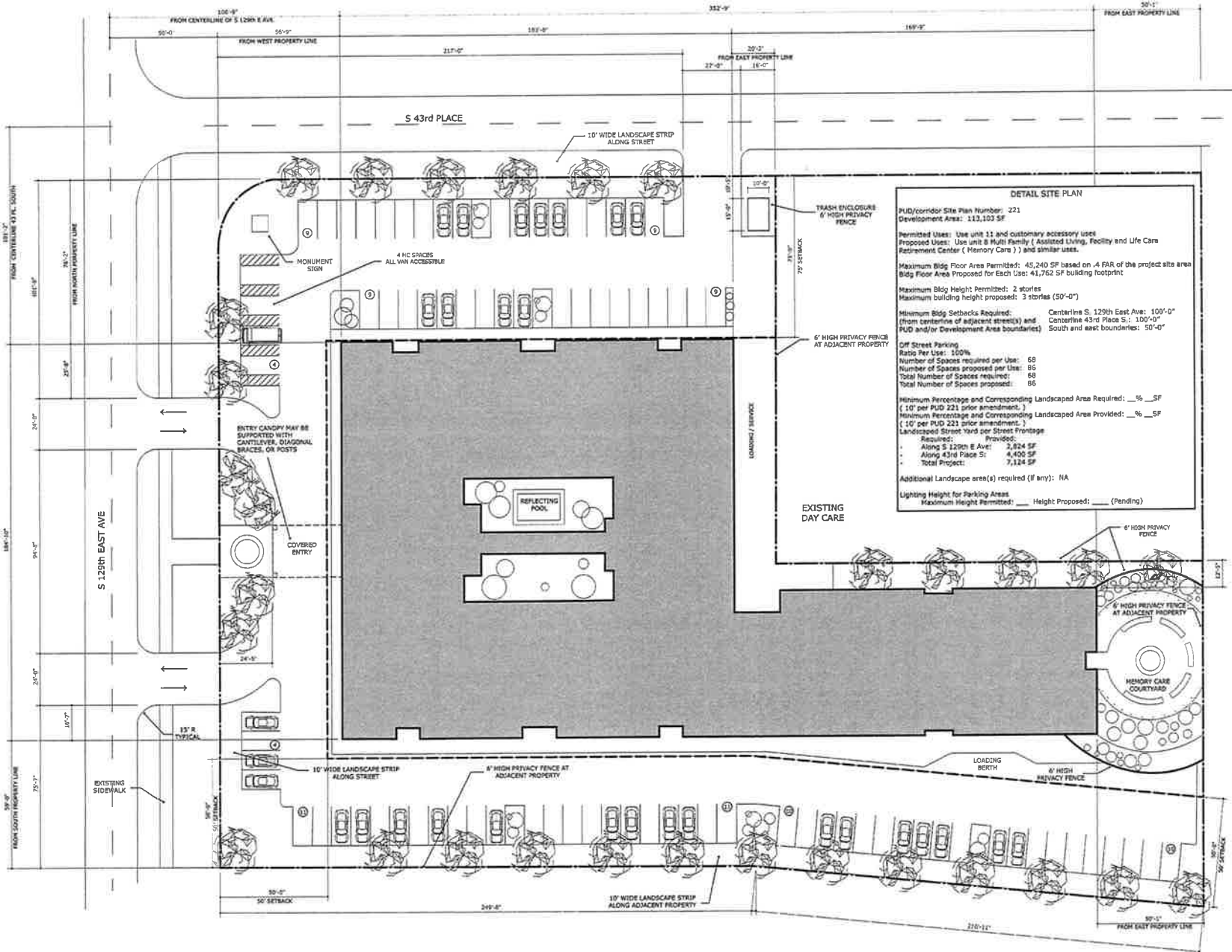
A YES answer to the following 3 questions would generally be FAVORABLE to a plat waiver:

- | | Yes | NO |
|---|------------|-----------|
| 1. Has Property previously been platted? | X | |
| 2. Are there restrictive covenants contained in a previously filed plat? | X | |
| 3. Is property adequately described by surrounding platted properties or street right-of-way? | X | |

A YES answer to the remaining questions would generally NOT be favorable to a plat waiver:

	YES	NO
4. Is right-of-way dedication required to comply with Major Street and Highway Plan?		X
5. Would restrictive covenants be required to be filed by separate instrument if the plat were waived?		X
6. Infrastructure requirements:		
a) Water		
i. Is a main line water extension required?		X
ii. Is an internal system or fire line required?		X
iii. Are additional easements required?		X
b) Sanitary Sewer		
i. Is a main line extension required?		X
ii. Is an internal system required?		X
iii. Are additional easements required?		X
c) Storm Sewer		
i. Is a P.F.P.I. required?		X
ii. Is an Overland Drainage Easement required?		X
iii. Is on site detention required?		X
iv. Are additional easements required?		X
7. Floodplain		
a) Does the property contain a City of Tulsa (Regulatory) Floodplain?		X
b) Does the property contain a F.E.M.A. (Federal) Floodplain?		X
8. Change of Access		
a) Are revisions to existing access locations necessary?	X	
9. Is the property in a P.U.D.?	X	
a) If yes, was plat recorded for the original P.U.D.	X	
10. Is this a Major Amendment to a P.U.D.?	X	
a) If yes, does the amendment make changes to the proposed physical development of the P.U.D.?	X	
11. Are mutual access easements needed to assure adequate access to the site?		X
12. Are there existing or planned medians near the site which would necessitate additional right-of-way dedication or other special considerations?		X

Note: If, after consideration of the above criteria, a plat waiver is granted on unplatted properties, a current ALTA/ACSM/NSPS Land Title Survey (and as subsequently revised) shall be required. Said survey shall be prepared in a recordable format and filed at the County Clerk's office by the applicant.



DETAIL SITE PLAN

PUD/Corridor Site Plan Number: 221
 Development Area: 113,103 SF

Permitted Uses: Use unit 11 and customary accessory uses
 Proposed Uses: Use unit 8 Multi Family (Assisted Living, Facility and Life Care Retirement Center (Memory Care)) and similar uses.

Maximum Bldg Floor Area Permitted: 45,240 SF based on A FAR of the project site area
 Bldg Floor Area Proposed for Each Use: 41,762 SF building footprint

Maximum Bldg Height Permitted: 2 stories
 Maximum building height proposed: 3 stories (50'-0")

Minimum Bldg Setbacks Required: (from centerline of adjacent streets) and PUD and/or Development Area boundaries
 Centerline S. 129th East Ave: 100'-0"
 Centerline 43rd Place S: 100'-0"
 South and east boundaries: 50'-0"

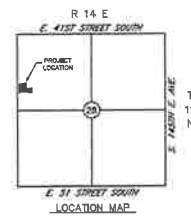
Off Street Parking
 Ratio Per Use: 100%
 Number of Spaces proposed per Use: 88
 Total Number of Spaces required: 88
 Total Number of Spaces proposed: 88

Minimum Percentage and Corresponding Landscaped Area Required: ___% ___SF
 (10' per PUD 221 prior amendment.)
 Minimum Percentage and Corresponding Landscaped Area Provided: ___% ___SF
 (10' per PUD 221 prior amendment.)

Landscaped Street Vard per Street Frontage
 Required: Provide:
 - Along S 129th E Ave: 3,824 SF
 - Along 43rd Place S: 4,400 SF
 - Total Project: 7,124 SF

Additional Landscape area(s) required (if any): NA

Lighting Height for Parking Areas
 Maximum Height Permitted: ___ Height Proposed: ___ (Pending)



LEGAL DESCRIPTION

A PART OF LOT 11, BLOCK 9
 QUAIL RIDGE, BLOCKS 1
 THRU 10, AN ADDITION TO
 THE CITY OF TULSA, TULSA
 COUNTY, OKLAHOMA
 P.U.D. NO. 221 DEVELOP
 AREA B OF LOT 11,
 BLOCK 9

PROJECT AREA ALLOCATIONS

ENTIRE SITE	113,103 SF	100%
BUILDING FOOTPRINT	41,762 SF	37%
LANDSCAPE	15,209 SF	17%
PAVING & SIDEWALKS	52,032 SF	46%

3 STORY BUILDING AREAS

FIRST FLOOR	= 41,762 SF
SECOND FLOOR	= 46,021 SF
THIRD FLOOR	= 15,027 SF
TOTAL	= 102,810 SF

RESIDENT UNITS

ASSISTED LIVING	74 UNITS
MEMORY CARE	40 UNITS
TOTAL	114 UNITS

PARKING CALCULATIONS
 REF. SECTION 1208D

ASSISTED LIVING UNITS	74 X 50 = 37
LIFE CARE / MEMORY CARE UNITS	40 X 35 = 14
FACILITY VEHICLES	= 4
STAFF	74(1/12) + 40(1/6) = 12.83
	67.83
REQUIRED SPACES:	88
PROVIDED SPACES:	88



14.3

SPRING VALLEY SENIOR LIVING

ASSISTED LIVING & MEMORY CARE

129th East Ave & 43rd Place South, Tulsa, OK

ARCHITECT

KSQ Architects PC
 405 S Boulder Avenue Suite 1000
 Tulsa, OK, 74103
 918.592.0522 Phone
 918.592.0845 Fax
 www.ksqarchitects.com



Tulsa Metropolitan Area Planning Commission

Case Number: Z-7310

(Related to PUD 837)

Hearing Date: August 19, 2105

Case Report Prepared by:

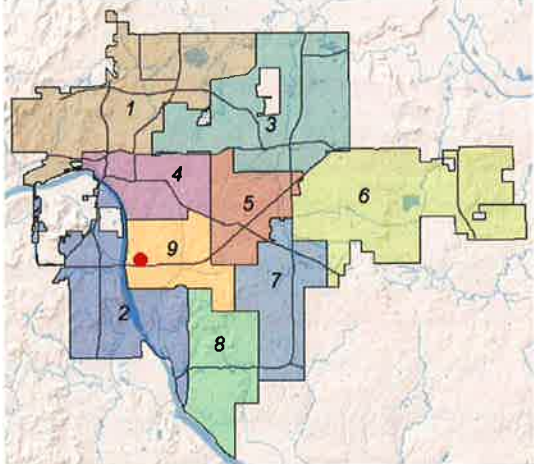
Dwayne Wilkerson

Owner and Applicant Information:

Applicant: Tim Terral

Property Owner: Myers-Duren Harley-Davidson of Tulsa, Inc.

Location Map:
(shown with City Council Districts)



Applicant Proposal:

Present Use: Parking & Single-Family Residential

Proposed Use: Off street parking

Concept summary: Expand surface parking for an existing motorcycle dealership.

Tract Size: 0.54 ± acres

23596.55 ± sq. ft

Location: Northwest corner of E. 49th St. and S. Peoria Ave.

Zoning:

Existing Zoning: RS-3/ OL

Proposed Zoning: OLI/ PUD-837

Comprehensive Plan:

Land Use Map: Mixed-Use Corridor

Stability and Growth Map: Area of Growth and Area of Stability

Staff Recommendation:

Staff recommends approval but only in conjunction with PUD 837.

OL zoning without a PUD overlay is not appropriate at this location.

Staff Data:

TRS: 9225

CZM: 46

Atlas: 474/473

City Council District: 9

Councilor Name: G.T. Bynum

County Commission District: 2

Commissioner Name: Karen Keith

15.1

SECTION I: Z-7310

DEVELOPMENT CONCEPT:

Myers-Duren Harley Davidson is proposing a parking lot expansion to their existing parking lot located on the northwest corner of East 49th Street and South Peoria Avenue. This 0.5409 acre PUD incorporates the existing parking lot as well as the two lots to the west of the existing parking lot, all fronting onto East 49th Street. The additional parking areas will incorporate an additional 120 feet of frontage along East 49th Street for a total of 195.16 feet of frontage on East 49th Street. The existing parking lot has 120.74 feet of frontage along South Peoria Avenue.

The purpose for the proposed parking lot expansion is twofold. First the expansion is needed to aid in removing vehicles from 49th Street during events and busy shopping days. There were 11 events during 2014 and the traffic on 49th Street could be problematic with parking on both sides of the street, making it difficult to navigate the street as well as for surrounding homeowners to back safely out of their driveways. In discussions with the surrounding homeowners, this was a concern voiced by several people. It is felt by adding an additional 35 parking spaces to the existing parking lot (22 spaces, 57 spaces total), this should help to alleviate traffic concerns and congestion on 49th Street during events. The second reason for the requested expansion is to accommodate future building expansion. There is not a specific time line for this expansion, but the Myers-Duren building cannot expand to the south due to a 16 inch ONG gas line located along the north 15 feet of the proposed parking lots, thus the only option for building expansion is to the north. A second access point to 49th Street is also being proposed on the western portion of the project site. This access will be gated with a sliding gate of the same material as the screening fence to block views into the parking lot when closed. Additionally, this access point will only be open on Saturdays and during events, which are generally on Saturdays as well.

EXHIBITS:

- INCOG Case map
- INCOG Aerial (small scale)
- INCOG Aerial (large scale)
- Tulsa Comprehensive Plan Land Use Map
- Tulsa Comprehensive Plan Areas of Stability and Growth Map
- Applicant Exhibits:
 - Refer to PUD 837 for applicant exhibits.

DETAILED STAFF RECOMMENDATION:

The Tulsa Comprehensive Plan recognizes this area as a Mixed Use Corridor which considers parking behind business along the Peoria corridor as an appropriate use. This concept is not exactly the relationship considered to be appropriate however over time it is anticipated that the Mixed Use Corridor will continue to expand west into the residential neighborhood allowing future business to build adjacent to Peoria. When that happens parking will ultimately be placed behind the businesses and therefore this zoning request is consistent with the long term vision of the Comprehensive Plan. OL zoning in conjunction with PUD 837 is consistent with the Comprehensive Plan; and

15.2

OL zoning in conjunction with PUD 837 is consistent with the existing development pattern north, east and south of the site however the encroachment into the neighborhood west of the site is not consistent with the Brookside Infill Development Recommendations at this location; and

In conjunction with a concurrent OL zoning request at this location the request with the standards outlined in Section II, the site is consistent with the Comprehensive Plan vision for this area. OL zoning alone is not consistent primarily because of the lack of protection provided to the existing surrounding Residential development; therefore

Staff recommends Approval of Z-7310 to rezone property from RS-3/ OL to OL but only in conjunction with PUD 837.

SECTION III: Supporting Documentation

RELATIONSHIP TO THE COMPREHENSIVE PLAN:

Staff Summary: This project is well within the limits of the Mixed Use Corridor identified in the Comprehensive Plan however it is also within the Area of Stability which represents the single family character of the adjoining neighborhood. The eastern portion of the PUD is inside the area of growth. The site is clearly on the edge of development however the PUD over a proposed expansion OL zoning is an appropriate transition from the single family residential neighborhood to the Peoria Corridor.

Land Use Vision:

Land Use Plan map designation: The entire site is classified as a Mixed Use Corridor.

Mixed-Use Corridors are Tulsa's modern thoroughfares that pair high capacity transportation facilities with housing, commercial, and employment uses. Off the main travel route, land uses include multifamily housing, small lot, and townhouse developments, which step down intensities to integrate with single family neighborhoods. Mixed-Use Corridors usually have four or more travel lanes, and sometimes additional lanes dedicated for transit and bicycle use. The pedestrian realm includes sidewalks separated from traffic by street trees, medians, and parallel parking strips. Pedestrian crossings are designed so they are highly visible and make use of the shortest path across a street. Buildings along Mixed-Use Corridors include windows and storefronts along the sidewalk, with automobile parking generally located on the side or behind.

Areas of Stability and Growth designation: The entire site is classified as an area of Growth on the East 1/3 rd of the site and an area of Stability on the West 2/3rd of the site. The area of stability represented the existing condition at the time of the comprehensive plan when single family residential homes were on those lots.

The purpose of an Area of Growth is to direct the allocation of resources and channel growth to where it will be beneficial and can best improve access to jobs, housing, and services with fewer and shorter auto trips. Areas of Growth are parts of the city where general agreement exists that development or redevelopment is beneficial. As steps are taken to plan for, and, in some cases, develop or redevelop these areas, ensuring that existing residents will not be displaced is a high priority. A major goal is to increase economic activity in the area to benefit existing residents and businesses, and where necessary, provide the stimulus to redevelop.

15.3

Areas of Growth are found throughout Tulsa. These areas have many different characteristics but some of the more common traits are in close proximity to or abutting an arterial street, major employment and industrial areas, or areas of the city with an abundance of vacant land. Also, several of the Areas of Growth are in or near downtown. Areas of Growth provide Tulsa with the opportunity to focus growth in a way that benefits the City as a whole. Development in these areas will provide housing choice and excellent access to efficient forms of transportation including walking, biking, transit, and the automobile.

The Areas of Stability includes approximately 75% of the city's total parcels. Existing residential neighborhoods, where change is expected to be minimal, make up a large proportion of the Areas of Stability. The ideal for the Areas of Stability is to identify and maintain the valued character of an area while accommodating the rehabilitation, improvement or replacement of existing homes, and small scale infill projects. The concept of stability and growth is specifically designed to enhance the unique qualities of older neighborhoods that are looking for new ways to preserve their character and quality of life.

Transportation Vision:

Major Street and Highway Plan:

East 49th Street South is a non arterial street however this site is just west of South Peoria which is a Bus Rapid Transit corridor and a Multi Modal primary arterial street. Providing sidewalk access along 49th to provide safe pedestrian access from the neighborhood to the multi modal corridor is an important consideration to the walkability of this neighborhood.

Fast Forward Regional Transit Plan:

A major transit improvement will be made in the next three years with the *Peoria Bus Rapid Transit* project. As such, land uses near the stations should consider higher density transit-oriented development patterns that would take full advantage of the 15-minute frequency of transit on this corridor. The nearest station to this location will be ~150' south of I-44.

Trail System Master Plan Considerations:

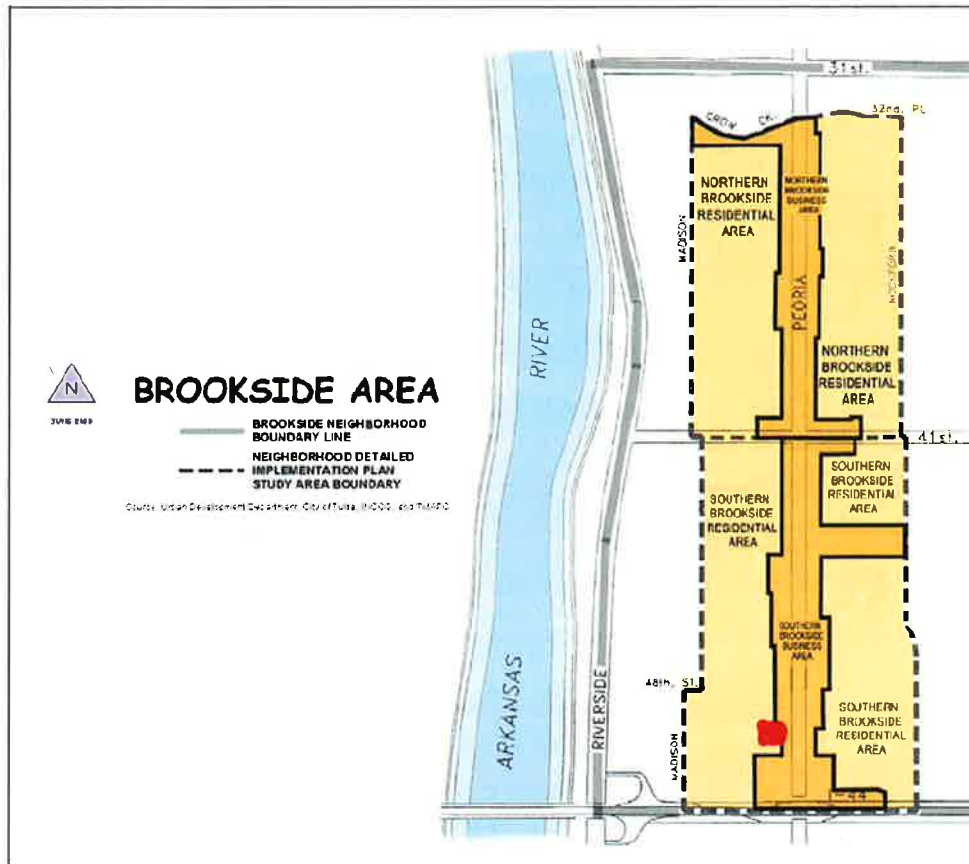
This site is within one half mile of the Riverparks Trail System. Sidewalks will be required to the 49th street right of way during the plat or plat waiver process.

Special District Considerations:

This site is included in the Brookside Infill Neighborhood Detailed implementation Plan. The specific rezoning request is part of the Southern Brookside Residential Area and was originally considered an area that should preserve existing residential development patterns.

15.4

EXHIBIT 1 -
BROOKSIDE
AREA



DESCRIPTION OF EXISTING CONDITIONS:

Staff Summary: The requested PUD and related zoning will continue an encroachment into the eastern edge of a single family residential neighborhood as supported in the Comprehensive Plan. Removal of homes and the existing tree canopy will significantly affect the character of the neighborhood along East 49th. The Comprehensive Plan recognizes the significance of maintaining the character of the neighborhood but it also considers this area as a potential expansion of the Mixed Use Corridor in this location. Sidewalk construction, significant screening standards, landscaping and lighting standards within the PUD will provide some improvements to the street right of way in South 49th East Avenue and create a design standard that can be implemented within the Mixed Use Corridor along Peoria.

The Brookside Infill Design Recommendations Plan that were part of the Brookside Infill Plan however that document was prepared prior to the Tulsa Comprehensive Plan. Staff supports the design concepts identified in the PUD and the Infill Design Recommendations. Staff also supports commercial expansion west of Peoria as defined in the Mixed Use Corridor of the Tulsa Comprehensive Plan.

Site Analysis: The subject property is approximately 0.54+ acres in size and is located west of Peoria on the north side of East 49th Street South. The eastern portion of the property is a surface parking lot now the western portion of the site was a single family residential site that has been removed so the site is now vacant.

15.5

Environmental Considerations: There is no terrain or obvious environmental considerations that would affect the development of this site.

Topography and Drainage

The existing topography is essentially flat with drainage generally flowing to the south and east towards East 49th Street and South Peoria Avenue. The existing parking lot is served with storm sewer and no on-site detention will be required.

Soils

The on-site soils are typical for the area and will create no unusual developmental problems.

Landscape/Vegetation

The site currently has an existing parking lot and landscaping in the eastern third of the site. The middle third of the site has had the residence removed and is open with grass and no other vegetation. The western third of the site currently has a residence that will be removed and 3 existing trees, two in the back yard and one in the front.

No obvious attempt has been made to save the existing trees.

Surrounding Properties: The subject tract is abutted on the east by a surface parking lot, zoned OL; on the north by Myers-Duren Harley Davidson, zoned CH; on the south by a single family residence, zoned RS-3; and on the west by single family residential, zoned RS-3.

Streets:

<u>Exist. Access</u>	<u>MSHP Design</u>	<u>MSHP RW</u>	<u>Exist. # Lanes</u>
South Peoria Avenue	Secondary Arterial	100 feet	4 with center turn lane
East 49 th Street	None	50 feet	2

Utilities:

Existing water lines run the length of the East 49th Street frontage, with a 36 inch water line located on the north side of the street and a 6 inch water line located on the south.

An 8 inch sanitary sewer line is located on the north side of East 49th Street and runs along the western two thirds of the property.

Storm sewer exists in the existing parking lot abutting South Peoria Avenue and flows north, tying into the storm sewer in the southeast corner of the Myers-Duren site. The proposed parking expansion will tie into this existing storm sewer.

AEP/PSO has overhead electric lines located on the north side of project site.

ONG has a 16 inch gas line located on the north side of property.

15.4

Surrounding Properties: The subject tract is abutted on the east by South Peoria, on the north by Myers-Duren Harley Davidson, zoned CH; on the south by East 49th Street South but across the street is a single family residence, zoned RS-3; and on the west by single family residential, zoned RS-3.

SECTION III: Relevant Zoning History

ZONING ORDINANCE: Ordinance number 11822 dated June 26, 1970 (RS-3), and 21015 dated February 28, 2005 (OL), established zoning for the subject property.

Subject Property:

Z-7271 July 2014: Staff recommended for **approval** of a request for rezoning a 7, 244± square foot tract of land from RS-3 to OL, for a parking lot, on property located west of the northwest corner East 49th Street South and South Peoria Avenue. The Planning Commission recommended for **denial** of the request.

Z-6971 February 2005: All concurred in approval of a request for rezoning a 9,074± square foot tract of land from RS-3 to OL, for office use, on property located on the northwest corner East 49th Street South and South Peoria Avenue.

Surrounding Property:

Z-6176 December 1987: All concurred in approval of a request for rezoning a tract of land from RS-3 to OL on property located on the southwest corner of East 49th Street South and South Peoria Avenue.

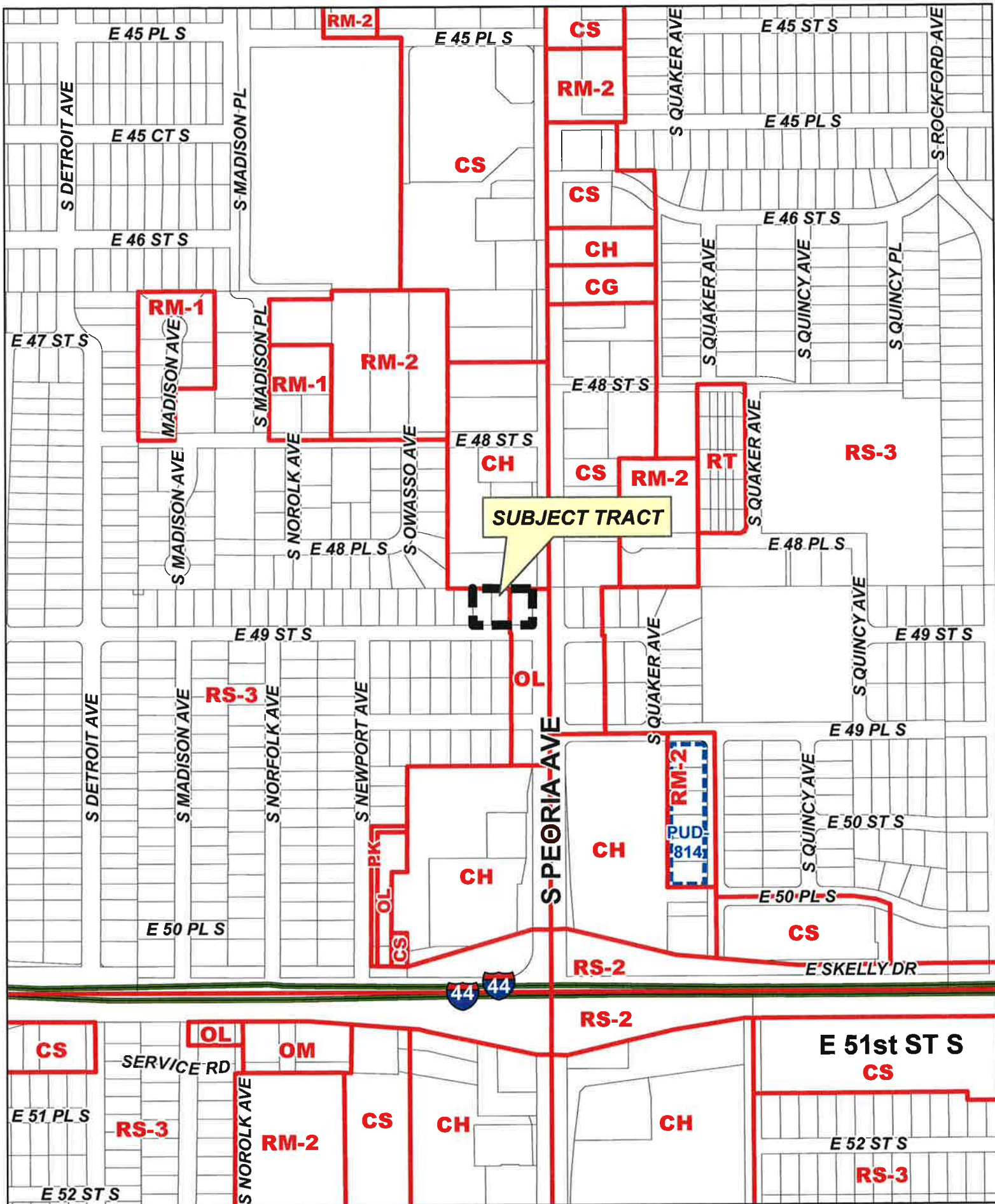
Z-5715 August 1982: All concurred in approval of a request for rezoning a tract of land from RS-3 to OL on property located on the northwest corner of East 49th Place South and South Peoria Avenue.

Z-5133 August 1978: All concurred in approval of a request for rezoning a tract of land from RS-3 to OL on property located on the southwest corner of East 49th Place South and South Peoria Avenue.

BOA-2535 March 10, 1954: The Board of Adjustment approved a Special Exception to permit a two company fire station on Lot 21, on property located at the southwest corner of S. Peoria Ave. and E. 48th St.

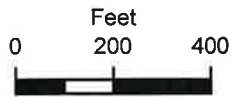
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15.7



SUBJECT TRACT

RUD
814



Z-7310

19-12 25

15.8





E 45 PLS

E 45 PLS

E 45 ST S

S DETROIT AVE

E 45 CT S

S MADISON PL

S SQUAKER AVE

E 45 PLS

S ROCKFORD AVE

E 46 ST S

E 46 ST S

E 47 ST S

S MADISON AVE

S MADISON PL

S SQUAKER AVE

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S NORFOLK AVE

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S SQUAKER AVE

E 48 PLS

E 49 ST S

S DETROIT AVE

S MADISON AVE

S NORFOLK AVE

S NEWPORT AVE

S PEORIA AVE

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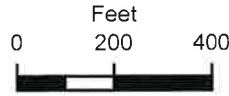
SERVICERD

E 51 PLS

S NORFOLK AVE

E 52 ST S

E 52 ST S



Subject Tract

Z-7310

19-12 25

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: March 2011

15.9





S OWASSO AVE

E 48 PLS

S PEORIA AVE

E 49 STS

E 49 PLS

E 49 PLS



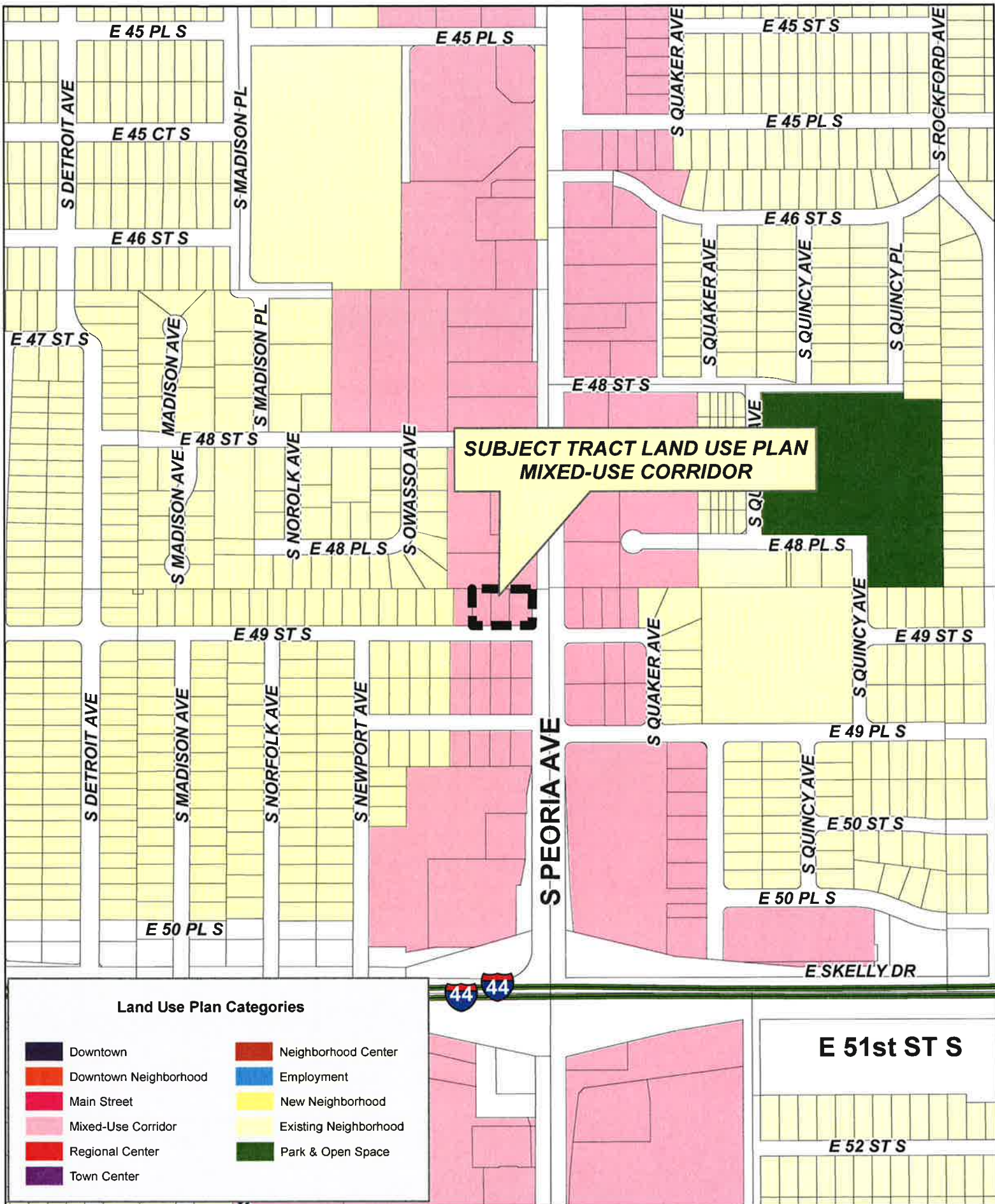
Z-7310

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Note: Graphic overlays may not precisely align with physical features on the ground.

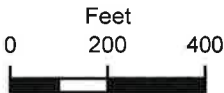
Aerial Photo Date: March 2014



**SUBJECT TRACT LAND USE PLAN
MIXED-USE CORRIDOR**

Land Use Plan Categories

- | | |
|--|---|
|  Downtown |  Neighborhood Center |
|  Downtown Neighborhood |  Employment |
|  Main Street |  New Neighborhood |
|  Mixed-Use Corridor |  Existing Neighborhood |
|  Regional Center |  Park & Open Space |
|  Town Center | |



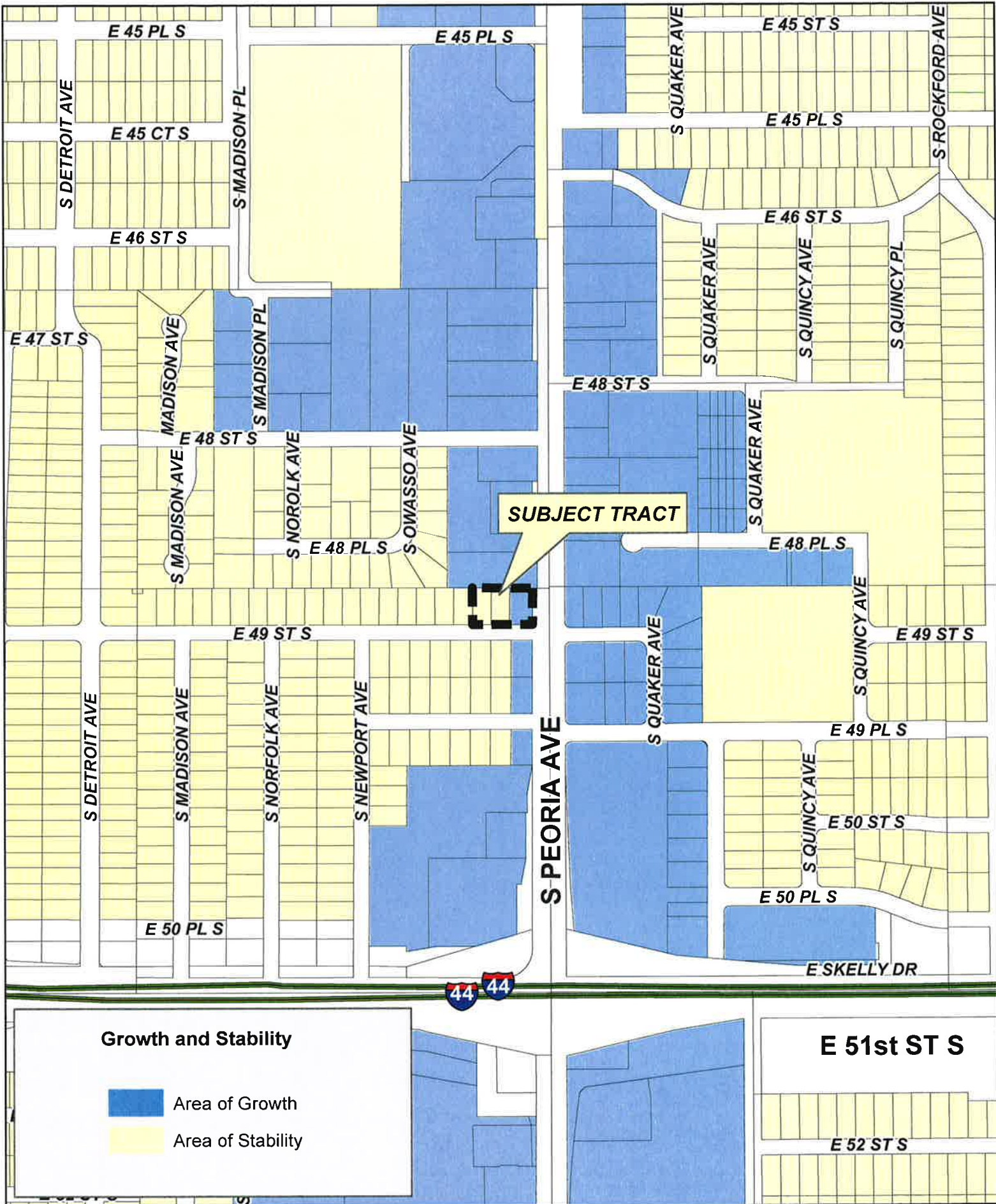
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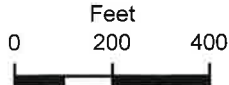




SUBJECT TRACT

Growth and Stability

- Area of Growth
- Area of Stability



Z-7310

19-12 25

15.12





Tulsa Metropolitan Area
Planning Commission

Case Number: PUD-837

(Related to Z-7310 rezoning requested from RS-3/OL to all OL)

Hearing Date: August 19, 2105

Case Report Prepared by:

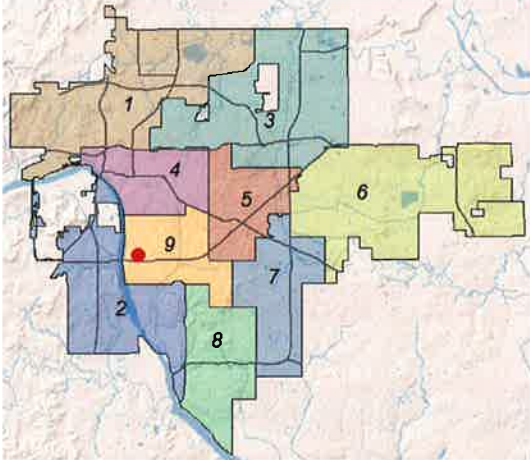
Dwayne Wilkerson

Owner and Applicant Information:

Applicant: Tim Terral

Property Owner: Myers-Duren Harley-Davidson of Tulsa, Inc.

Location Map:
(shown with City Council Districts)



Applicant Proposal:

Present Use: Parking & Single-Family Residential

Proposed Use: Off street parking

Concept summary:

Tract Size: 0.54 ± acres

23596.55 ± sq. ft

Location: Northwest corner of E. 49th St. and S. Peoria Ave.

Zoning:

Existing Zoning: RS-3/OL

Proposed Zoning: OL/ PUD-837

Comprehensive Plan:

Land Use Map: Mixed-Use Corridor

Stability and Growth Map: Area of Growth and Area of Stability

Staff Recommendation:

Staff recommends approval for PUD and associated OL rezoning request.

At the end of the report a significant package of information from the neighborhood has been included in with the staff report.

Staff Data:

TRS: 9225

CZM: 46

Atlas: 474/473

City Council District: 9

Councilor Name: G.T. Bynum

County Commission District: 2

Commissioner Name: Karen Keith

16.1

SECTION I: PUD-837

APPLICANTS DEVELOPMENT CONCEPT:

Myers-Duren Harley Davidson is proposing a parking lot expansion to their existing parking lot located on the northwest corner of East 49th Street and South Peoria Avenue. This 0.5409 acre PUD incorporates the existing parking lot as well as the two lots to the west of the existing parking lot, all fronting onto East 49th Street. The additional parking areas will incorporate an additional 120 feet of frontage along East 49th Street for a total of 195.16 feet of frontage on East 49th Street. The existing parking lot has 120.74 feet of frontage along South Peoria Avenue.

The property is bounded to the north by Commercial High Intensity District (CH) zoned land that is the location of the current Myers-Duren Harley Davidson site, to the west by Residential Single-Family High Density District (RS-3) zoned land that includes a single-family residence and to the south, directly across East 49th Street, by Residential Single-Family High Density District (RS-3) land that includes two lots with single-family residences and one lot with an office use zoned Office Low Intensity District (OL), located on the southwest corner of the intersection of East 49th Street and South Peoria Avenue. Further west of the proposed site the land is zoned Residential Single-Family High Density (RS-3) (See Exhibit 'C' - Surrounding Zoning and Land Use Plan). The current zoning for the existing parking lot is OL and submitted concurrently with this PUD application is a zoning request to re-zone the remaining land for the proposed parking lot expansion from RS-3 to OL.

The Tulsa Comprehensive Plan designates this site, and the land west and south of this site, as "Mixed Use Corridor". The Comprehensive Plan states: "Mixed-Use Corridors are Tulsa's modern thoroughfares that pair high capacity transportation facilities with housing, commercial, and employment uses.....Buildings along Mixed-Use Corridors include windows and storefronts along the sidewalk, with automobile parking generally located on the side or behind." By this definition, it is felt that the existing parking lot and the proposed parking lot expansion, located on the south side of the existing Myers-Duren site, is compatible with the Mixed Use Corridor designation of the Comprehensive Plan (See Exhibit 'D' - Comprehensive Plan - Land Use Plan).

The purpose for the proposed parking lot expansion is twofold. First the expansion is needed to aid in removing vehicles from 49th Street during events and busy shopping days. There were 11 events during 2014 and the traffic on 49th Street could be problematic with parking on both sides of the street, making it difficult to navigate the street as well as for surrounding homeowners to back safely out of their driveways. In discussions with the surrounding homeowners, this was a concern voiced by several people. It is felt by adding an additional 35 parking spaces to the existing parking lot (22 spaces, 57 spaces total), this should help to alleviate traffic concerns and congestion on 49th Street during events. The second reason for the requested expansion is to accommodate future building expansion. There is not a specific time line for this expansion, but the Myers-Duren building cannot expand to the south due to a 16 inch ONG gas line located along the north 15 feet of the proposed parking lots, thus the only option for building expansion is to the north. The Conceptual Site Plan shows how the existing and proposed parking lots will look (see Exhibit 'A' - Conceptual Site Plan). A second access point to 49th Street is also being proposed on the western portion of the project site. This access will be gated with a sliding gate of the same material as the screening fence to block views into the parking lot when closed. Additionally, this access point will only be open on Saturdays and during events, which are generally on Saturdays as well.

16.2

There is extensive landscaping proposed for the overall parking area (see Exhibits 'E', 'F' and 'G'). Over twice the number of, required, trees are being proposed as well as numerous shrubs, ground cover, seasonal color and turf, all of which will be irrigated by an underground sprinkler system. The overall amount of Landscaped Open Space exceeds the 15 % required minimum amount, based on a PUD with an underlying zoning of OL and proposes a minimum of 20% Landscape Open Space (Conceptual Landscape Plan shows 21.2%). Screening will be accomplished by a 6 foot wood fence with masonry columns along 49th Street and a 6 foot wood screening fence along the west and north boundaries. *Section V - Landscape Open Space* and *Section VII - Screening and Fencing* goes into more detail as to what is being proposed for the site. Lighting for the site will be an improvement over what exists today. Currently there are 6 - 20' light poles with metal halide lamps in the existing parking lot. The proposed lighting plan calls for the removal of these 6 poles and replacing them with two poles, one with one LED light head and the other with two. These newer LED lights provide adequate lighting with less off site infiltration than the metal halide lights, with fewer poles and light fixtures. The two proposed light poles are centrally located in the parking lot and not along the edges (see Appendix 'C' - Lighting). The parking lot lighting is proposed to be turned off at 10:00 pm every evening.

EXHIBITS:

- INCOG Case map
- INCOG Aerial (small scale)
- INCOG Aerial (large scale)
- Tulsa Comprehensive Plan Land Use Map
- Tulsa Comprehensive Plan Areas of Stability and Growth Map
- Applicant Exhibits:
 - Exhibit A - Conceptual Site Plan
 - Exhibit B - Existing Conditions Plan
 - Exhibit C - Surrounding Zoning and Land Use Plan
 - Exhibit D - Comprehensive Plan - Land Use Plan
 - Exhibit E - Conceptual Landscape Plan
 - Exhibit F - Proposed Fence Elevation - East 49th Street
 - Exhibit G - Perspective - East 49th Street Character Sketch

SECTION III: PUD-837 DEVELOPMENT STANDARDS:

Statistical Summary

Total Project Area	23,562 SF/0.5409 Acres
Total Number of Parking Spaces	57
• Existing Parking Spaces	19
• Proposed Parking Spaces	38
Total Open Space Area	
• Required	3,534 SF (15%)
• Proposed	4,712 SF (20%)

Development Standards:

16.3

Permitted Uses:	Use Unit 10 (Off street parking)
Maximum Floor Area:	N/A
Off-Street Parking	57 spaces
• Average parking space	8.5' x 18'

Landscaping and Open Space:

The proposed parking lot expansion will feature a significant amount of landscaped open space on the project site. The amount of landscaped open space will be a minimum of 4,712 SF, or 20%, of the project area. The Conceptual Landscape Plan (see Exhibit 'E') shows √4,995 SF (21.2%) of landscaped open space. The Conceptual Landscape Plan also shows the following required versus proposed trees in the various portions of the site:

Total Number of Trees

- Required	11
- Proposed	25
• Street Yard Trees	
East 49 th Street	
- Required	2
- Proposed	8
South Peoria Avenue	
- Required	4
- Proposed	5
• Parking Lot	
- Required	5
- Proposed	12

As is evident, there are over twice the number of required trees being proposed. This does not include the various shrubs, ground cover, seasonal color and turf that will be installed as represented in the conceptual plan. The landscaped area along East 49th Street is shown to include a portion of the 49th Street Right-of-Way, to increase the area of potential landscaping. An underground irrigation system will be utilized in all landscaped areas to aid in the maintenance of the landscaping site wide. The final Detail Landscape Plan will match the size and spacing of the landscape plant materials as shown in Exhibit E - Conceptual Landscape Plan.

Lighting:

The 6 existing light poles with metal halide lamps in the current parking lot are to be removed and replaced with 2 centrally located light poles and 3 LED lamps (one on the west pole and two on the east). A Photometric Plan will be provided and prepared by the lighting contractor indicating no light penetration past the west and south boundaries.

Pole mounted light fixtures will not be placed higher than 16 feet above ground level.

Parking lot lighting will be turn off between 9:00 pm and 8:00 am.

16.4

Pedestrian Access:

Sidewalk improvements will include construction of new sidewalk along the north side of East 49th Street South along the frontage of the entire PUD boundary.

Screening and Fencing:

A 6 foot wood screening fence with masonry columns will be installed along the East 49th Street frontage (see Exhibit F - Proposed Fence Elevation - East 49th Street and Exhibit G – Perspective - East 49th Street Character Sketch). The fencing will have stained caps and trim that will tie into the Myers-Duren color scheme. The 7 foot masonry columns will tie into the Myers-Duren Art Deco architectural theme as well as the color scheme of the building.

The west entrance to the proposed parking area on West 49th Street South will be a wood gate detail complimentary to the wood fence and may be sliding or a swing gate. The gate will remain closed except during special events permitted by the City of Tulsa and during normal business hours on Saturday.

Signage:

No signage will be allowed within the PUD except the “Badge and Bar” emblem identified on the conceptual elevation. The maximum emblem size will be limited to 38 square feet. No words or letters will be allowed and the sign will not be illuminated.

Permanent information signage may be placed on the screening fence near the entrances to the parking lot reminding riders to “ride quiet in the neighborhood”. Information signage will be limited to 4 signs, two on the north facing sides of the fence and two on the south facing sides of the screening fence. Those signs will be limited to 4 square feet each.

Solid Waste Disposal:

Refuse containers for business operations will be prohibited within the boundaries of the PUD. Temporary trash containers not exceeding 55 gallon capacity may be placed during events but must be removed within 24 hours of any event.

Platting Requirement

The property is platted as Lots 1-3, Block 14, Riverview Village (Plat #1518), with all utilities in place and no need for any additional easements, thus a Plat Waiver Request has been submitted concurrently with this PUD application.

Detail Site Plan Review

Detail Plans will be submitted as required by the City of Tulsa Zoning Code.

Schedule of Development

Development of Myers-Duren parking lot expansion is expected to begin in the Fall/Winter 2015, after final approval of the appropriate Detail Plans and engineering design.

DETAILED STAFF RECOMMENDATION:

16.5

The Tulsa Comprehensive Plan recognizes this area as a Mixed Use Corridor which considers parking behind business along the Peoria corridor as an appropriate use. This concept is not exactly the relationship considered to be appropriate however over time it is anticipated that the Mixed Use Corridor will continue to expand west into the residential neighborhood allowing future business to build adjacent to Peoria. When that happens parking will ultimately be placed behind the businesses and therefore this zoning request is consistent with the long term vision of the Comprehensive Plan. PUD 837 is consistent with the Comprehensive Plan; and

PUD 837 is consistent with the existing development pattern north, east and south of the site however the encroachment into the neighborhood west of the site is not consistent with the Brookside Infill Development Recommendations at this location; and

In conjunction with a concurrent OL zoning request at this location the request with the standards outlined in Section II, the site is consistent with the Comprehensive Plan vision for this area. OL zoning alone is not consistent primarily because of the lack of protection provided to the existing surrounding Residential development; and

The PUD provides a unified treatment providing design standards that help integrate this business expansion into the neighborhood as recognized in the Comprehensive Plan and the Brookside Development Recommendations; and

PUD 837 is consistent with the stated purposes and standards of this Chapter; therefore

Staff recommends Approval of PUD-837 as outlined in Section II above.

SECTION III: Supporting Documentation

RELATIONSHIP TO THE COMPREHENSIVE PLAN:

Staff Summary: This project is well within the limits of the Mixed Use Corridor identified in the Comprehensive Plan however it is also within the Area of Stability which represents the single family character of the adjoining neighborhood. The eastern portion of the PUD is inside the area of growth. The site is clearly on the edge of development however the PUD over a proposed expansion OL zoning is an appropriate transition from the single family residential neighborhood to the Peoria Corridor.

Land Use Vision:

Land Use Plan map designation: The entire site is classified as a Mixed Use Corridor.

Mixed-Use Corridors are Tulsa's modern thoroughfares that pair high capacity transportation facilities with housing, commercial, and employment uses. Off the main travel route, land uses include multifamily housing, small lot, and townhouse developments, which step down intensities to integrate with single family neighborhoods. Mixed-Use Corridors usually have four or more travel lanes, and sometimes additional lanes dedicated for transit and bicycle use. The pedestrian realm includes sidewalks separated from traffic by street trees, medians, and parallel parking strips. Pedestrian crossings are designed so they are highly visible and make use of the shortest path across a street. Buildings along Mixed-Use Corridors include windows and storefronts along the sidewalk, with automobile parking generally located on the side or behind.

16.4

Areas of Stability and Growth designation: The entire site is classified as an area of Growth on the East 1/3 rd of the site and an area of Stability on the West 2/3rd of the site. The area of stability represented the existing condition at the time of the comprehensive plan when single family residential homes were on those lots.

The purpose of an Area of Growth is to direct the allocation of resources and channel growth to where it will be beneficial and can best improve access to jobs, housing, and services with fewer and shorter auto trips. Areas of Growth are parts of the city where general agreement exists that development or redevelopment is beneficial. As steps are taken to plan for, and, in some cases, develop or redevelop these areas, ensuring that existing residents will not be displaced is a high priority. A major goal is to increase economic activity in the area to benefit existing residents and businesses, and where necessary, provide the stimulus to redevelop.

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Transportation Vision:

Major Street and Highway Plan:

East 49th Street South is a non arterial street however this site is just west of South Peoria which is a Bus Rapid Transit corridor and a Multi Modal primary arterial street. Providing sidewalk access along 49th to provide safe pedestrian access from the neighborhood to the multi modal corridor is an important consideration to the walkability of this neighborhood.

Fast Forward Regional Transit Plan:

A major transit improvement will be made in the next three years with the *Peoria Bus Rapid Transit* project. As such, land uses near the stations should consider higher density transit-oriented development patterns that would take full advantage of the 15-minute frequency of transit on this corridor. The nearest station to this location will be ~150' south of I-44.

Trail System Master Plan Considerations:

This site is within one half mile of the Riverparks Trail System. Sidewalks will be required to the 49th street right of way during the plat or plat waiver process.

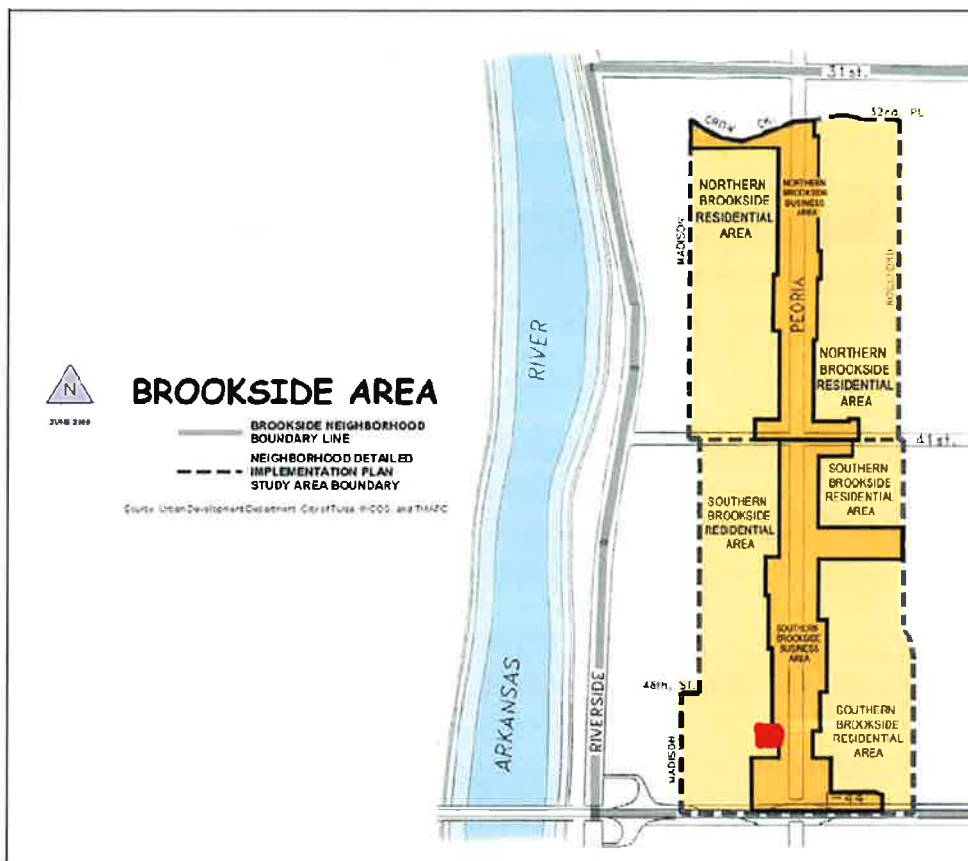
16.7

Special District Considerations:

This site is included in the Brookside Infill Neighborhood Detailed implementation Plan. The specific rezoning request is part of the Southern Brookside Residential Area and was originally considered an area that should preserve existing residential development patterns.

BROOKSIDE INFILL DEVELOPMENT DESIGN RECOMMENDATIONS - A COMPONENT OF THE BROOKSIDE INFILL NEIGHBORHOOD DETAIL

EXHIBIT 1 -
BROOKSIDE
AREA



DESCRIPTION OF EXISTING CONDITIONS:

Staff Summary: The requested PUD and related zoning will continue an encroachment into the eastern edge of a single family residential neighborhood as supported in the Comprehensive Plan. Removal of homes and the existing tree canopy will significantly affect the character of the neighborhood along East 49th. The Comprehensive Plan recognizes the significance of maintaining the character of the neighborhood but it also considers this area as a potential expansion of the Mixed Use Corridor in this location. Sidewalk construction, significant screening standards, landscaping and lighting standards within the PUD will provide some improvements to the street right of way in South 49th East Avenue and create a design standard that can be implemented within the Mixed Use Corridor along Peoria.

The Brookside Infill Design Recommendations Plan that were part of the Brookside Infill Plan however that document was prepared prior to the Tulsa Comprehensive Plan. Staff supports the design concepts identified in the PUD and the Infill Design Recommendations. Staff also supports commercial expansion west of Peoria as defined in the Mixed Use Corridor of the Tulsa Comprehensive Plan.

16.8

Site Analysis: The subject property is approximately 0.54+ acres in size and is located west of Peoria on the north side of East 49th Street South. The eastern portion of the property is a surface parking lot now the western portion of the site was a single family residential site that has been removed so the site is now vacant.

Environmental Considerations: There is no terrain or obvious environmental considerations that would affect the development of this site.

Topography and Drainage

The existing topography is essentially flat with drainage generally flowing to the south and east towards East 49th Street and South Peoria Avenue. The existing parking lot is served with storm sewer and no on-site detention will be required.

Soils

The on-site soils are typical for the area and will create no unusual developmental problems.

Landscape/Vegetation

The site currently has an existing parking lot and landscaping in the eastern third of the site. The middle third of the site has had the residence removed and is open with grass and no other vegetation. The western third of the site currently has a residence that will be removed and 3 existing trees, two in the back yard and one in the front.

No obvious attempt has been made to save the existing trees.

Surrounding Properties: The subject tract is abutted on the east by a surface parking lot, zoned OL; on the north by Myers-Duren Harley Davidson, zoned CH; on the south by a single family residence, zoned RS-3; and on the west by single family residential, zoned RS-3.

Streets:

<u>Exist. Access</u>	<u>MSHP Design</u>	<u>MSHP R/W</u>	<u>Exist. # Lanes</u>
South Peoria Avenue	Secondary Arterial	100 feet	4 with center turn lane
East 49 th Street	None	50 feet	2

Utilities:

Existing water lines run the length of the East 49th Street frontage, with a 36 inch water line located on the north side of the street and a 6 inch water line located on the south.

An 8 inch sanitary sewer line is located on the north side of East 49th Street and runs along the western two thirds of the property.

Storm sewer exists in the existing parking lot abutting South Peoria Avenue and flows north, tying into the storm sewer in the southeast corner of the Myers-Duren site. The proposed parking expansion will tie into this existing storm sewer.

16.9

AEP/PSO has overhead electric lines located on the north side of project site.

ONG has a 16 inch gas line located on the north side of property.

Surrounding Properties: The subject tract is abutted on the east by South Peoria, on the north by Myers-Duren Harley Davidson, zoned CH; on the south by East 49th Street South but across the street is a single family residence, zoned RS-3; and on the west by single family residential, zoned RS-3.

SECTION IV: Relevant Zoning History

ZONING ORDINANCE: Ordinance number 11822 dated June 26, 1970 (RS-3), and 21015 dated February 28, 2005 (OL), established zoning for the subject property.

Subject Property:

Z-7271 July 2014: Staff recommended for **approval** of a request for rezoning a 7, 244± square foot tract of land from RS-3 to OL, for a parking lot, on property located west of the northwest corner East 49th Street South and South Peoria Avenue. The Planning Commission recommended for **denial** of the request.

Z-6971 February 2005: All concurred in approval of a request for rezoning a 9,074± square foot tract of land from RS-3 to OL, for office use, on property located on the northwest corner East 49th Street South and South Peoria Avenue.

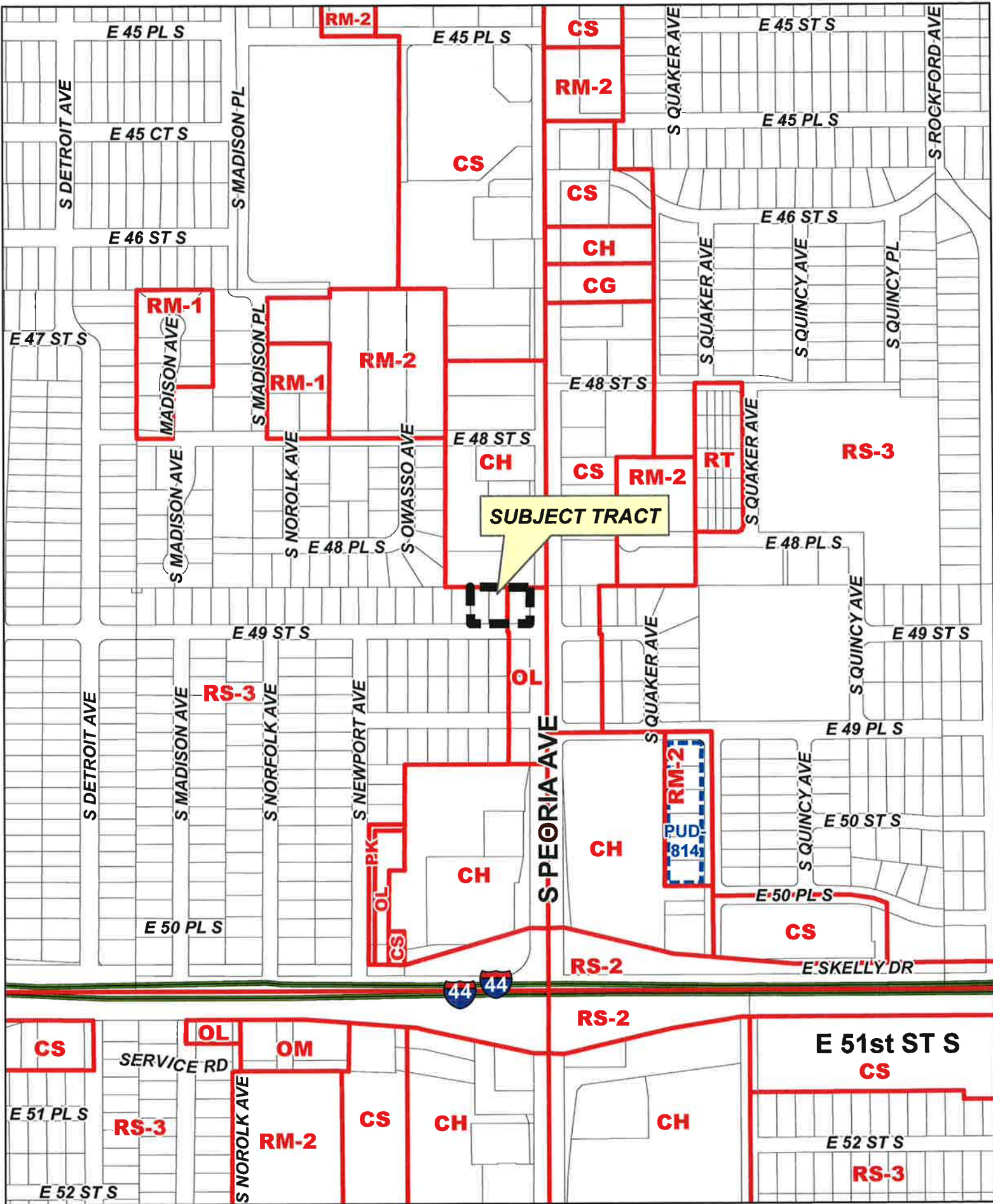
Surrounding Property:

Z-6176 December 1987: All concurred in approval of a request for rezoning a tract of land from RS-3 to OL on property located on the southwest corner of East 49th Street South and South Peoria Avenue.

Z-5715 August 1982: All concurred in approval of a request for rezoning a tract of land from RS-3 to OL on property located on the northwest corner of East 49th Place South and South Peoria Avenue.

Z-5133 August 1978: All concurred in approval of a request for rezoning a tract of land from RS-3 to OL on property located on the southwest corner of East 49th Place South and South Peoria Avenue.

BOA-2535 March 10, 1954: The Board of Adjustment approved a Special Exception to permit a two company fire station on Lot 21, on property located at the southwest corner of S. Peoria Ave. and E. 48th St.



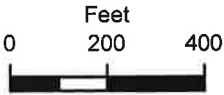
SUBJECT TRACT

PUD 814

PUD-837

19-12 25

16-11





Subject Tract

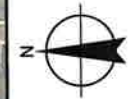
PUD-837

19-12 25

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: March 2014





16.13

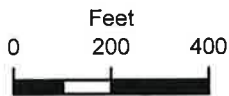
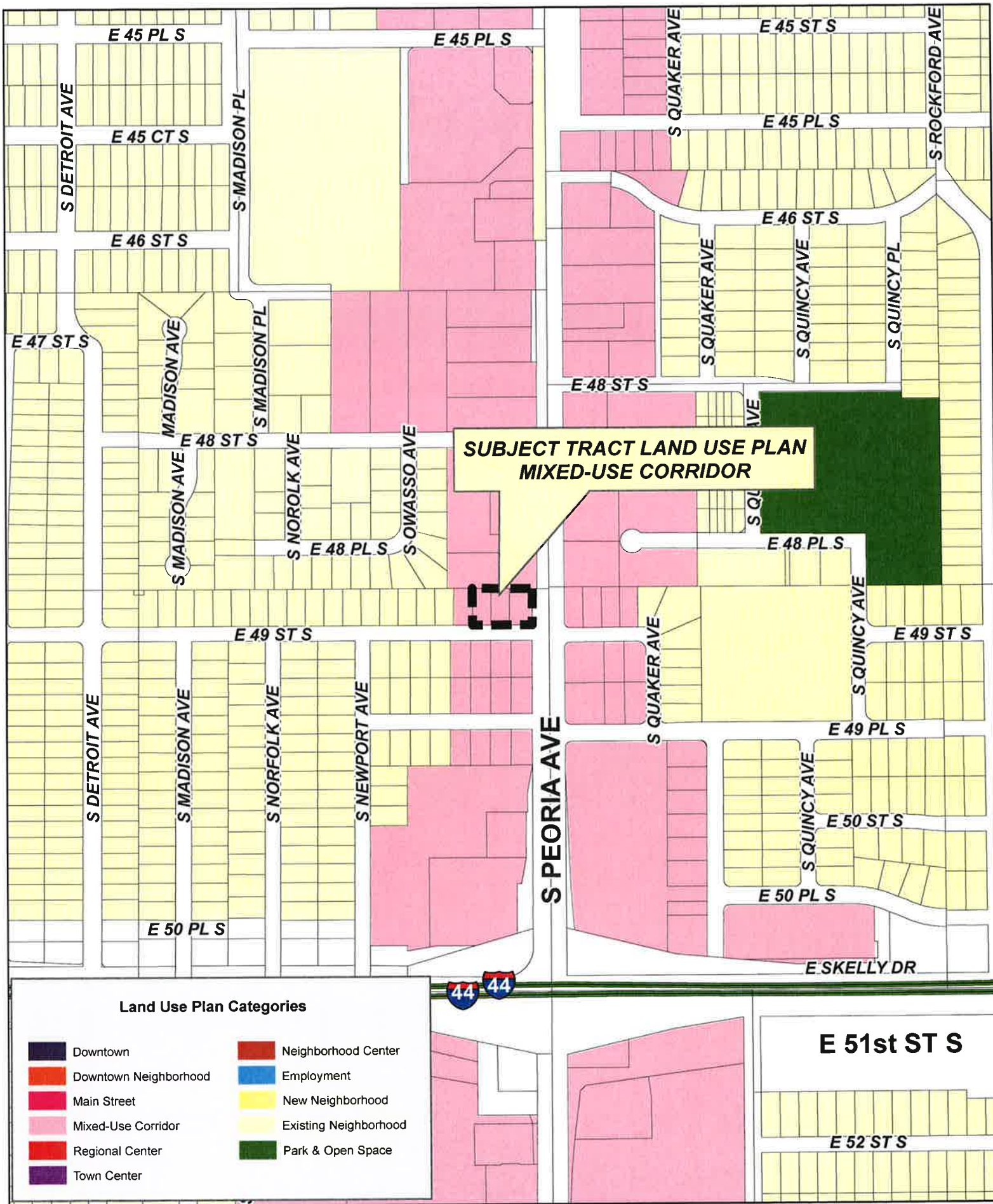
Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: March 2014

PUD-837

19-12.25



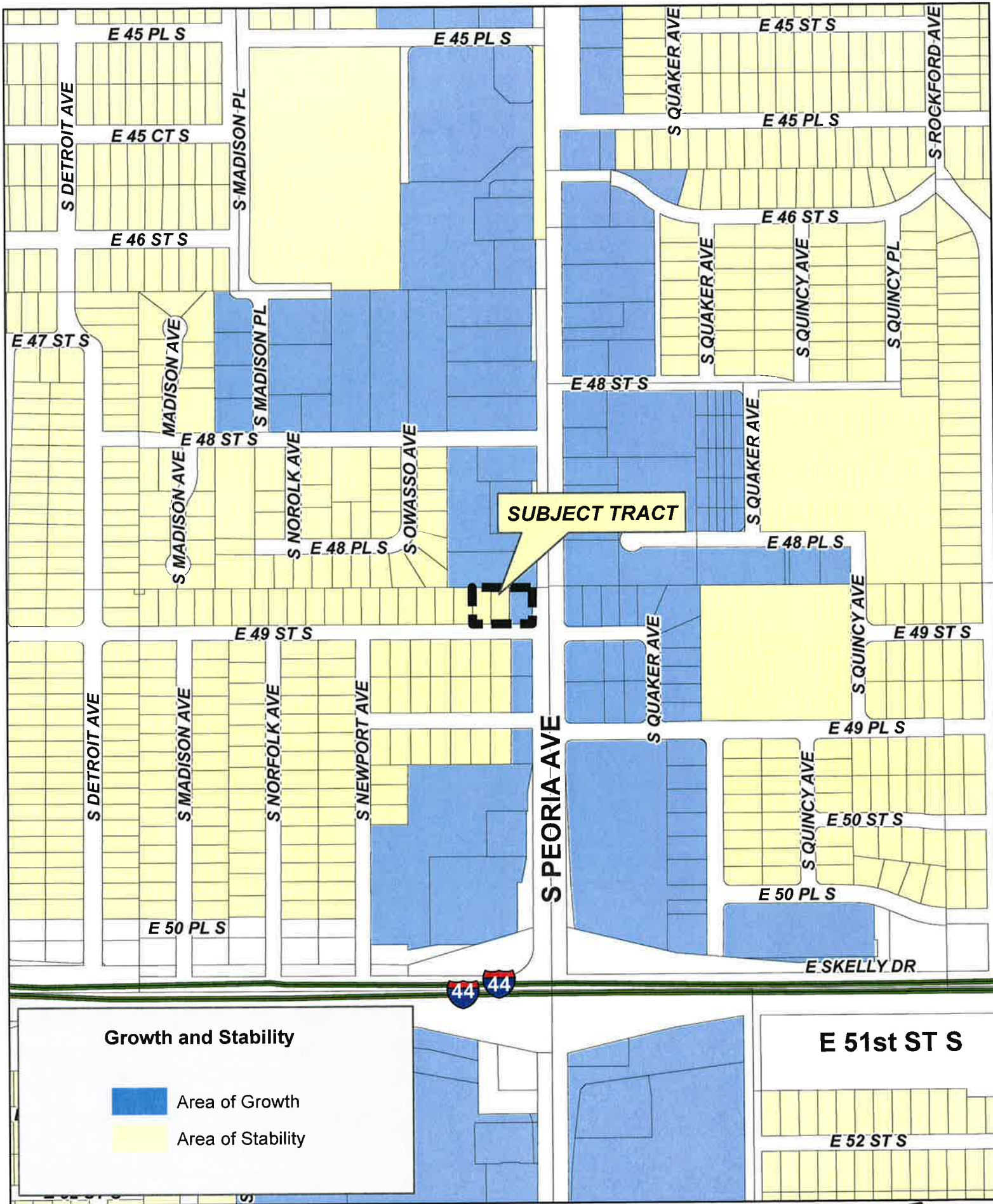


PUD-837

19-12 25

16.19





SUBJECT TRACT

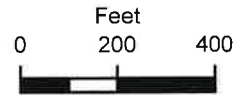
Growth and Stability

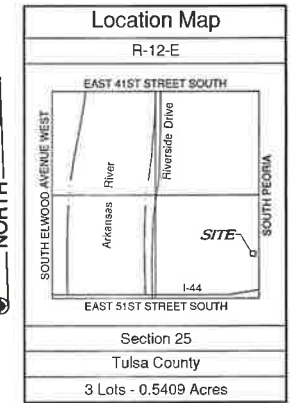
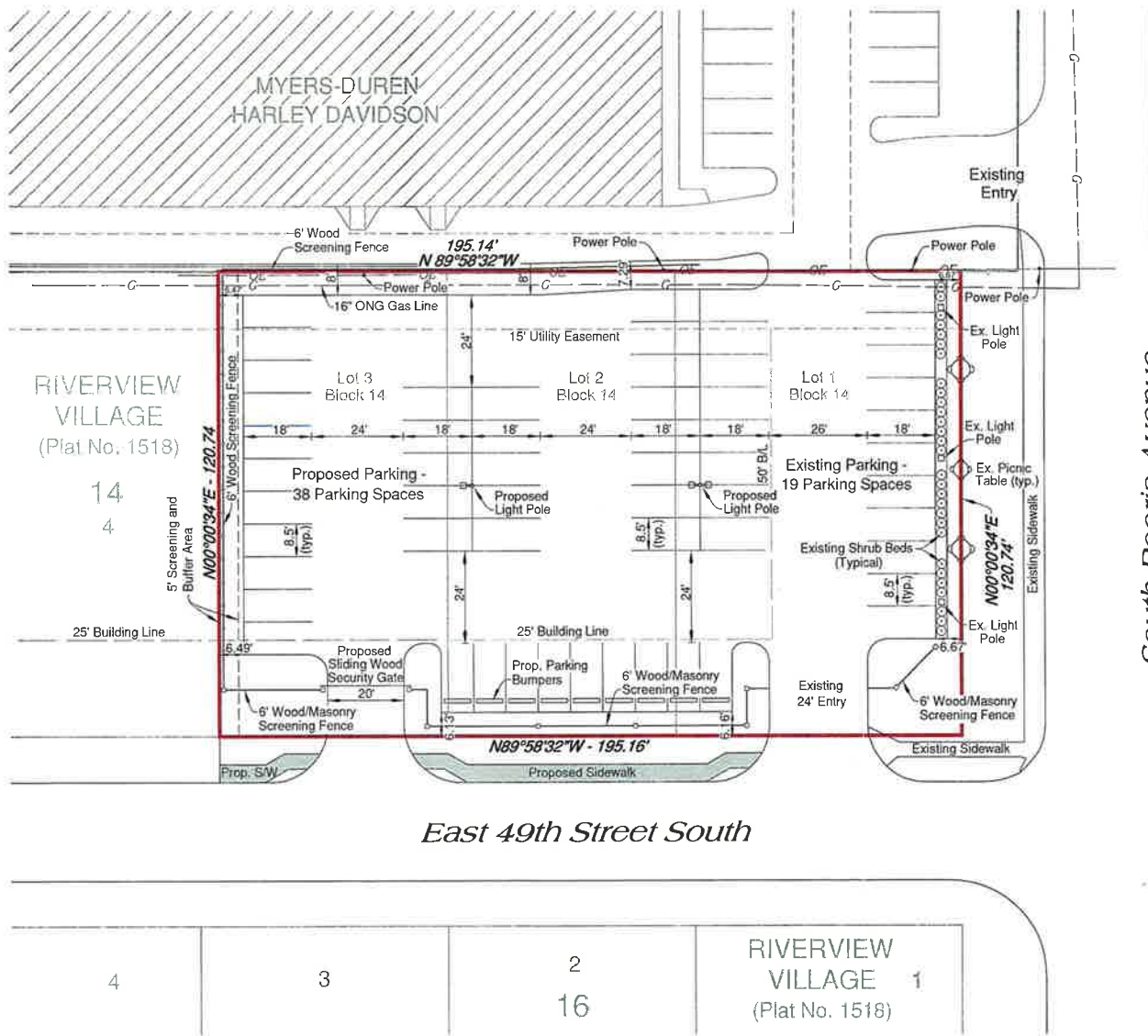
- Area of Growth
- Area of Stability

PUD-837

19-12 25

16.15





DATA SUMMARY:

Total Project Area	0.5409 Ac.
Total Number of Parking Spaces	57
- Total # of Proposed Parking Spaces	38
- Total # of Existing Parking Spaces	19*
* After Expansion, 22 spaces existing	
Total Open Space/Landscaped Area	
- Required	15.0%
- Proposed Minimum	20.0%**
** 21.2% as shown on plan.	
Total Number of Trees - Required/Proposed	11/25
- Street Yard (49th Street)	2/8
- Street Yard (So. Peoria)	4/5
- Parking	5/12

Note: All existing light poles (6) to be removed



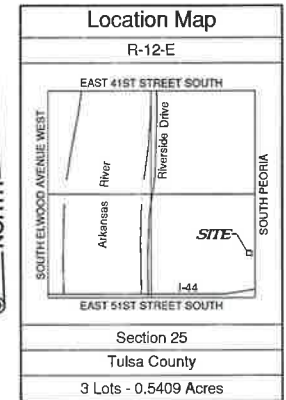
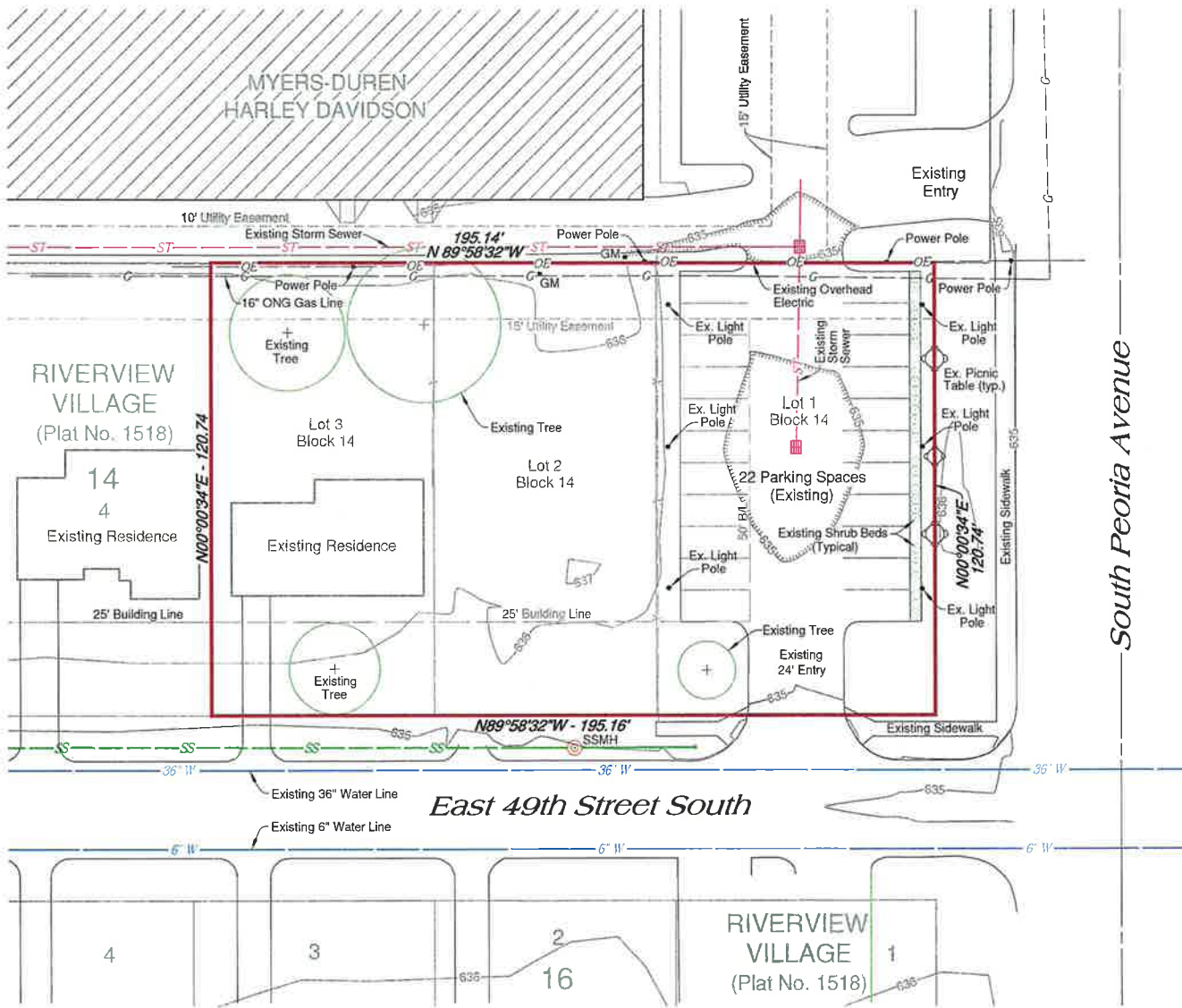
EXHIBIT 'A'

Myers-Duren

Conceptual Site Plan

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N



EXHIBIT 'B'
Myers-Duren
 Existing Conditions Plan

tep

16.17

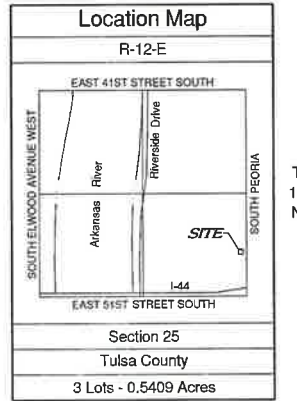
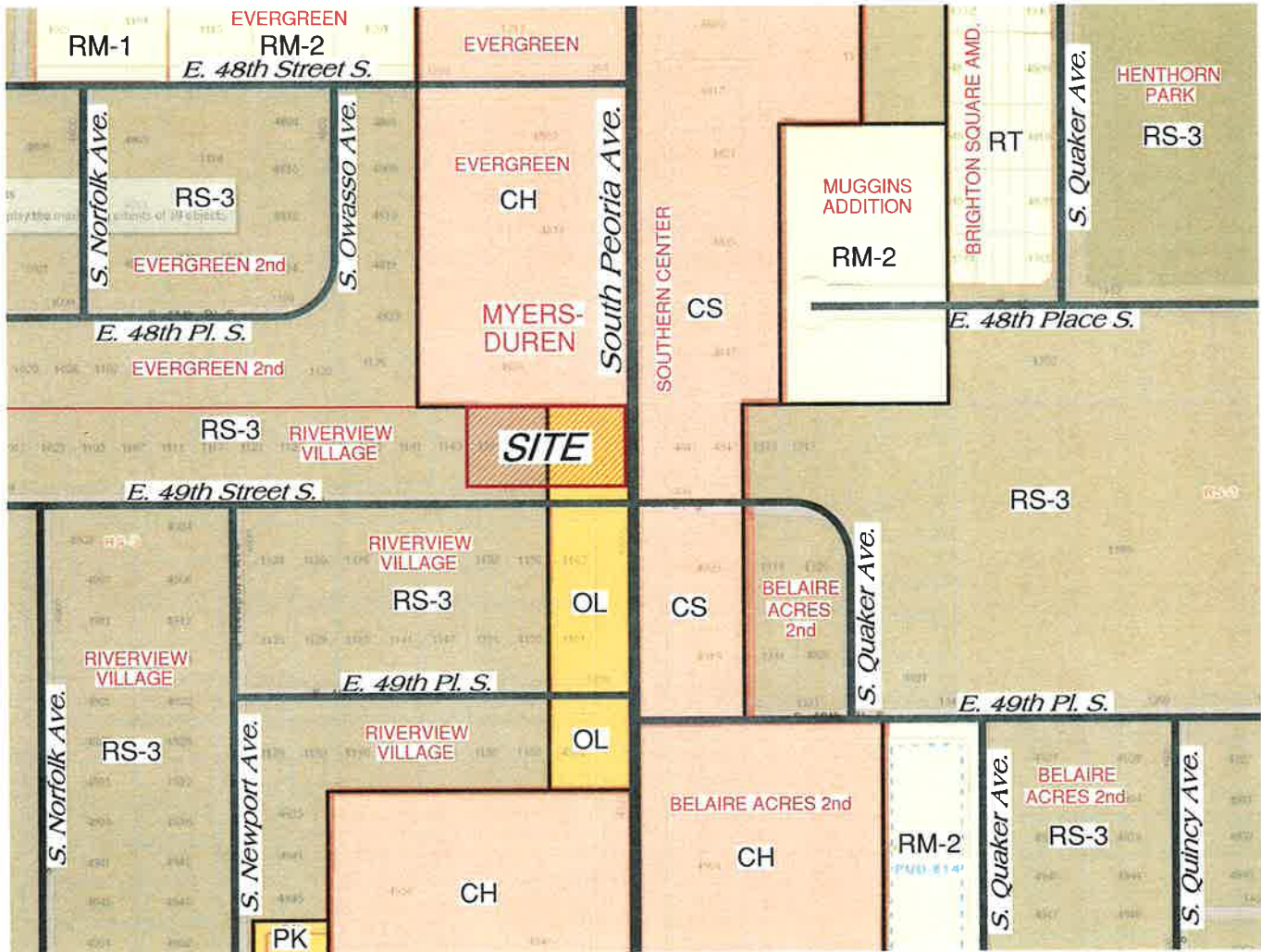


EXHIBIT 'C'
Myers-Duren
 Surrounding Zoning and
 Land Use Plan

tep
 24.91

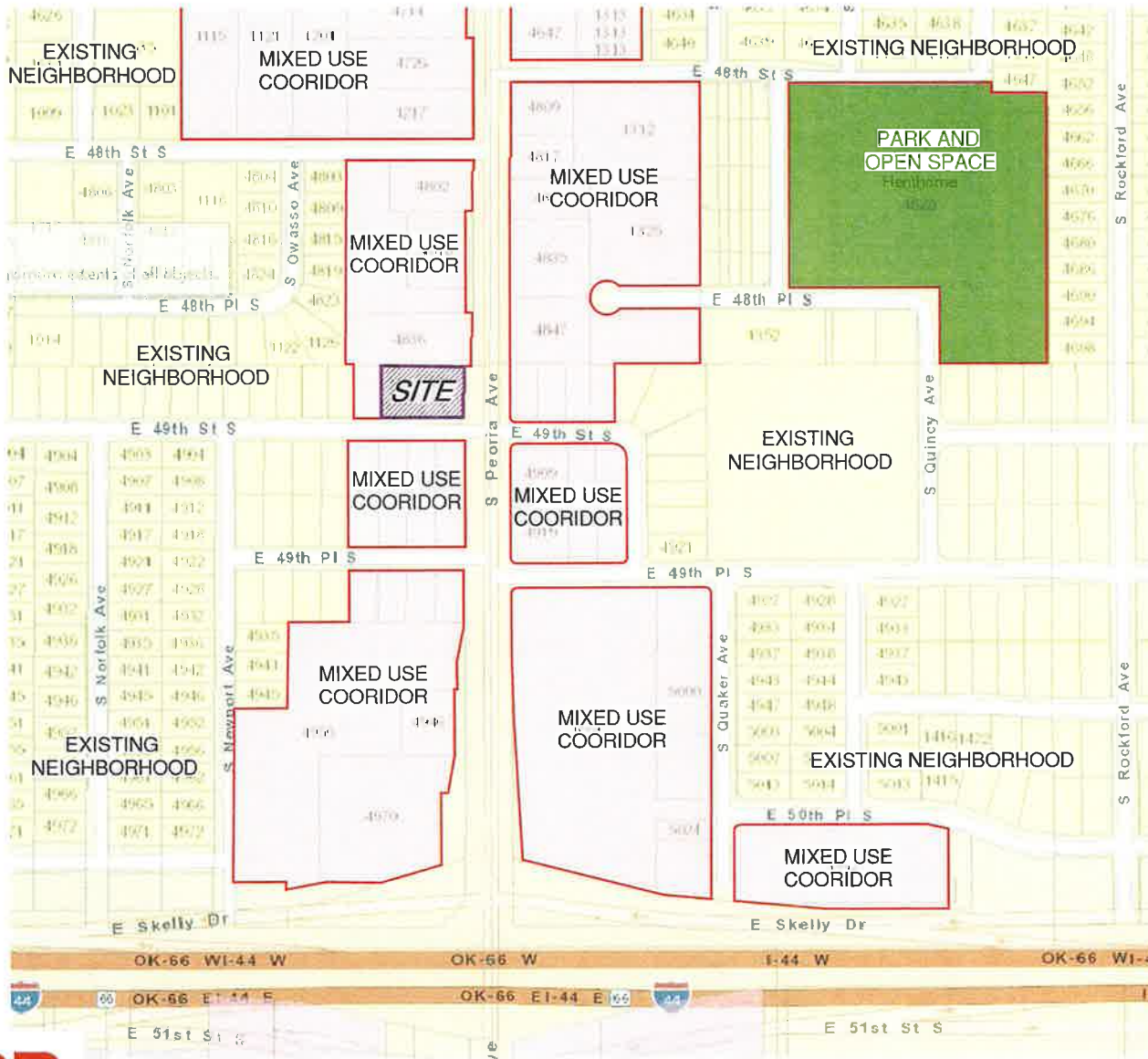
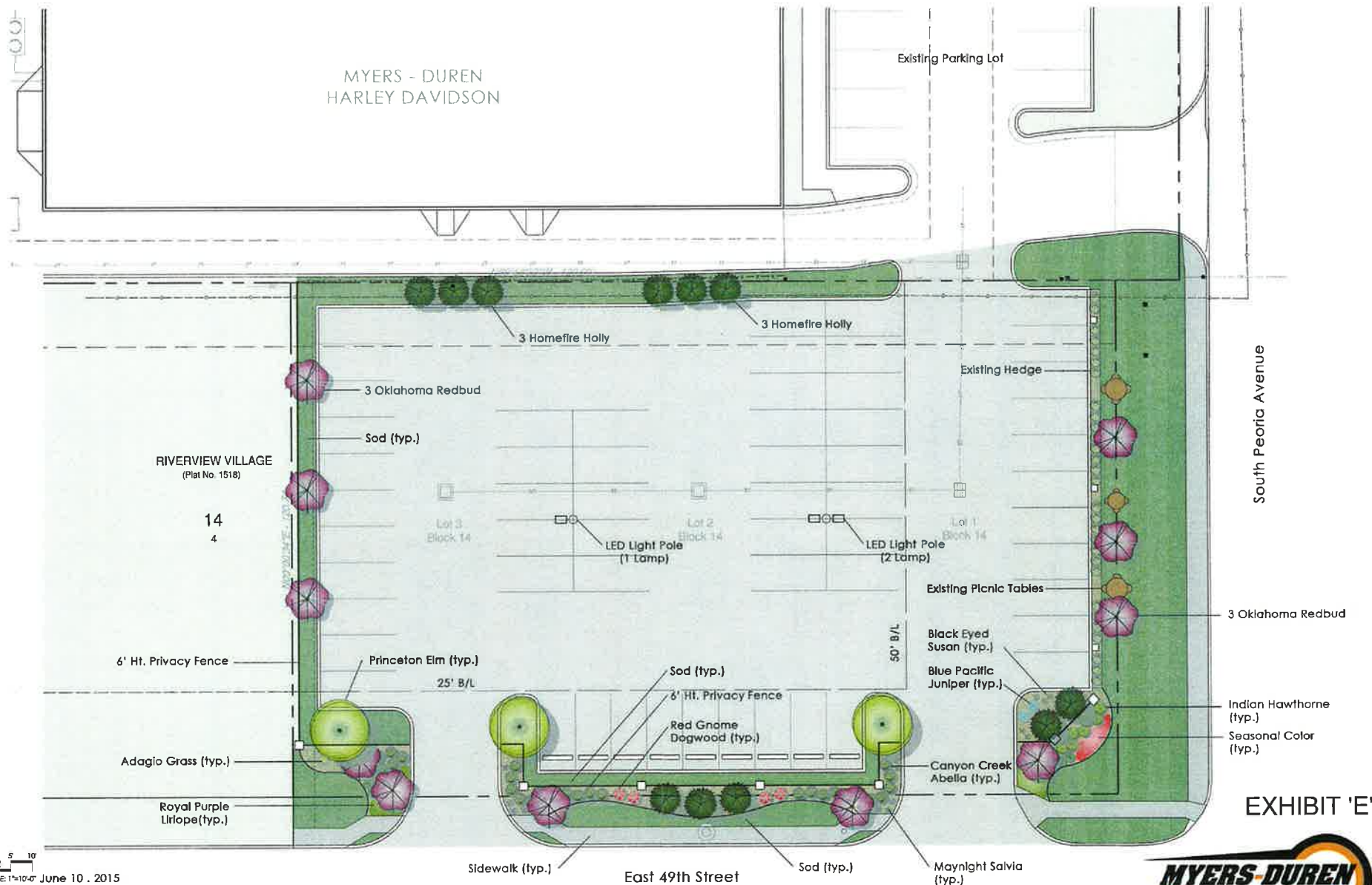



EXHIBIT 'D'
Myers-Duren

Comprehensive Plan
 Land Use Plan

tep

16-19





 SCALE: 1"=10'-0" June 10, 2015

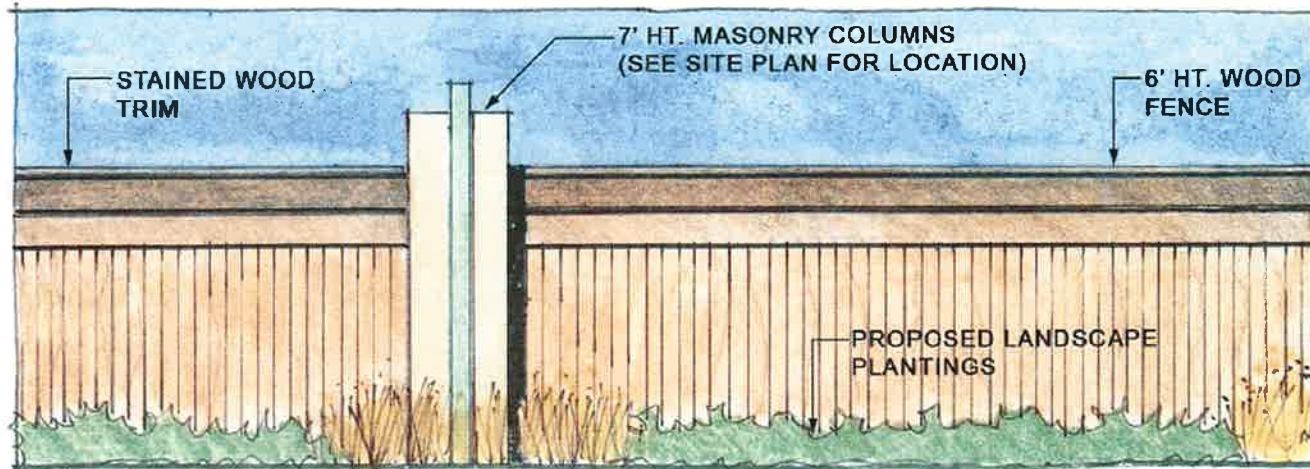

 ALABACK DESIGN ASSOCIATES, INC.

EXHIBIT 'E'

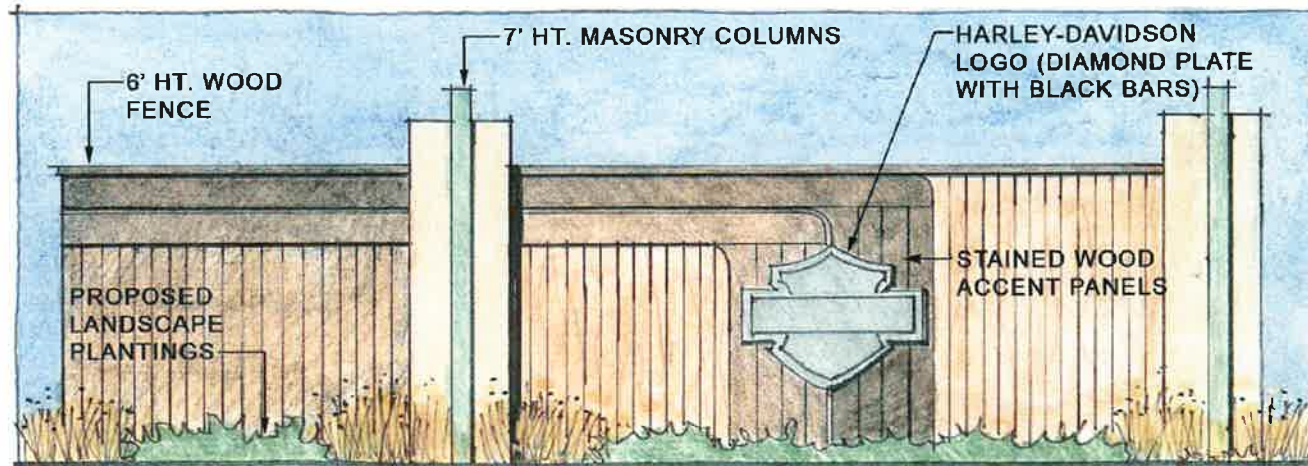


Conceptual Landscape Plan

16.20



PROPOSED FENCE ELEVATION - 49th STREET FRONTAGE



PROPOSED FENCE ELEVATION - 49th ST. / PEORIA AVENUE

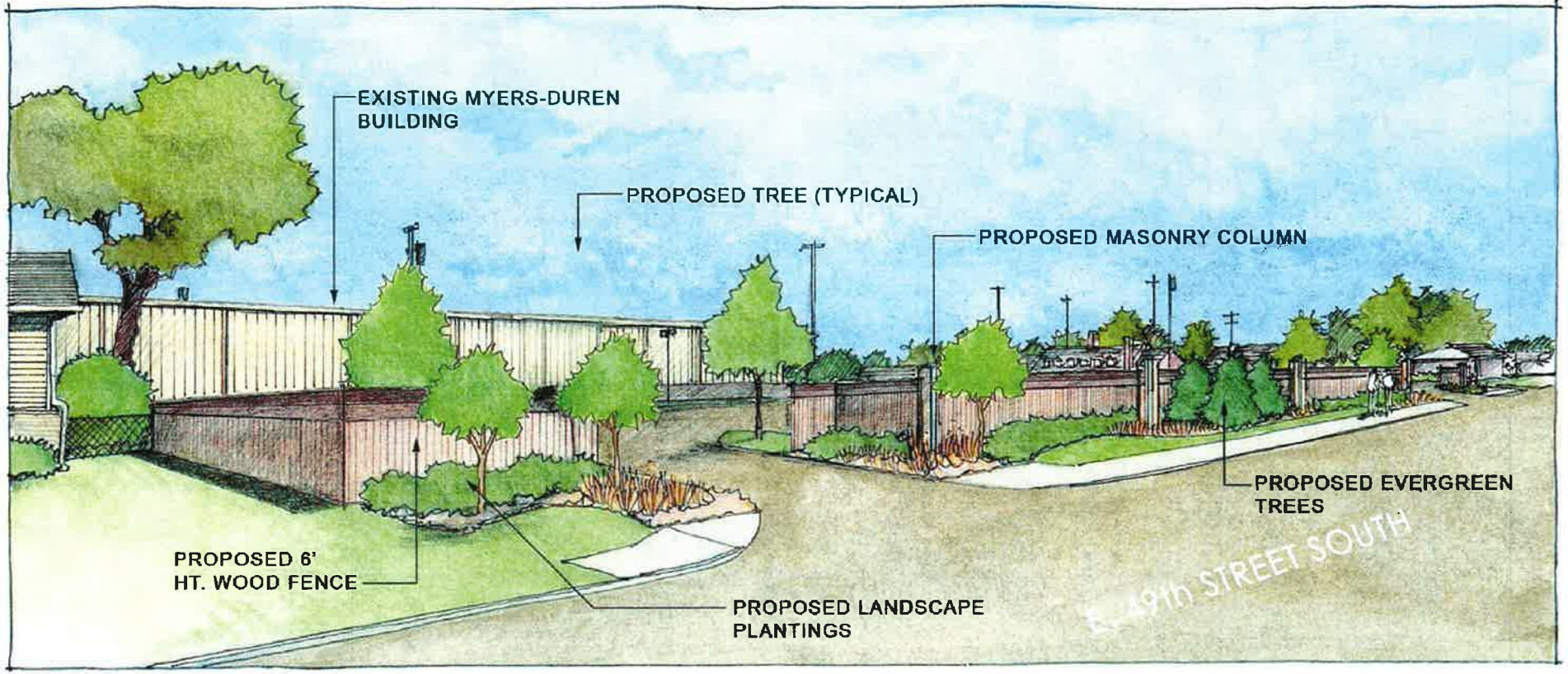


EXHIBIT 'F'

ALABACK DESIGN ASSOCIATES
JUNE 10.2015

MYERS - DUREN HARLEY - DAVIDSON
TULSA, OKLAHOMA

16.21



VIEW LOOKING NORTHEAST

EXHIBIT 'G'

49th STREET FENCING - CHARACTER SKETCH

ALABACK DESIGN ASSOCIATES
JUNE 10.2015

MYERS - DUREN HARLEY - DAVIDSON
TULSA, OKLAHOMA

16.22

PLAT WAIVER

August 19, 2015

PUD 837, Northwest corner of East 49th Street South and South Peoria Avenue (CD 9)

The platting requirement is being triggered by a major amendment to PUD 168.

Staff provides the following information from TAC for their August 6, 2015 meeting:

ZONING: TMAPC Staff:

STREETS: Corner radius of 30 feet is required at the intersection of 49th Street and Peoria. Limits of No Access must be defined along South Peoria Avenue. Sidewalks required per subdivision regulations. Sidewalks shall be constructed along East 49th Street South within a dedicated easement or within the right of way, with a minimum of five feet in width, and constructed in accordance with the specifications and standards of the City of Tulsa Public Works and Development Departments.

SEWER: No comment.

WATER: No comment.

STORMWATER: No comment.

FIRE: No comment.

UTILITIES: No comment.

Staff can recommend **APPROVAL** of the plat waiver as most requirements have been met for the platted property.

A YES answer to the following 3 questions would generally be FAVORABLE to a plat waiver:

- | | Yes | NO |
|---|-----|----|
| 1. Has Property previously been platted? | X | |
| 2. Are there restrictive covenants contained in a previously filed plat? | X | |
| 3. Is property adequately described by surrounding platted properties or street right-of-way? | X | |

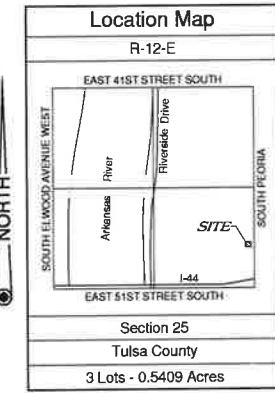
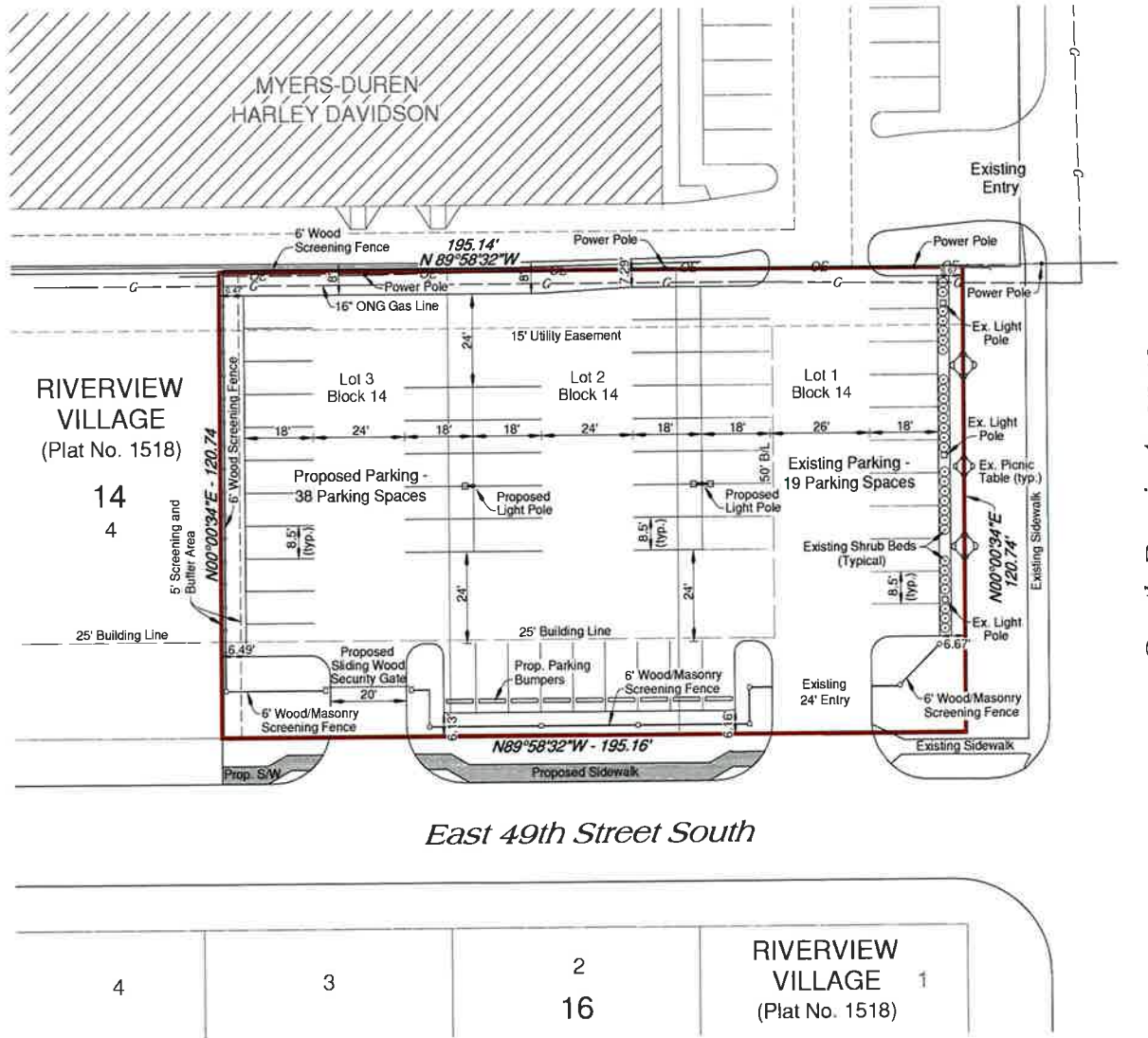
A YES answer to the remaining questions would generally NOT be favorable to a plat waiver:

YES NO

17.1

- | | | | |
|-----|---|---|---|
| 4. | Is right-of-way dedication required to comply with Major Street and Highway Plan? | | X |
| 5. | Would restrictive covenants be required to be filed by separate instrument if the plat were waived? | | X |
| 6. | Infrastructure requirements: | | |
| | a) Water | | |
| | i. Is a main line water extension required? | | X |
| | ii. Is an internal system or fire line required? | | X |
| | iii. Are additional easements required? | | X |
| | b) Sanitary Sewer | | |
| | i. Is a main line extension required? | | X |
| | ii. Is an internal system required? | | X |
| | iii. Are additional easements required? | | X |
| | c) Storm Sewer | | |
| | i. Is a P.F.P.I. required? | | X |
| | ii. Is an Overland Drainage Easement required? | | X |
| | iii. Is on site detention required? | | X |
| | iv. Are additional easements required? | | X |
| 7. | Floodplain | | |
| | a) Does the property contain a City of Tulsa (Regulatory) Floodplain? | X | |
| | b) Does the property contain a F.E.M.A. (Federal) Floodplain? | X | |
| 8. | Change of Access | | |
| | a) Are revisions to existing access locations necessary? | | X |
| 9. | Is the property in a P.U.D.? | X | |
| | a) If yes, was plat recorded for the original P.U.D. | | |
| 10. | Is this a Major Amendment to a P.U.D.? | X | |
| | a) If yes, does the amendment make changes to the proposed physical development of the P.U.D.? | | X |
| 11. | Are mutual access easements needed to assure adequate access to the site? | | X |
| 12. | Are there existing or planned medians near the site which would necessitate additional right-of-way dedication or other special considerations? | | X |

Note: If, after consideration of the above criteria, a plat waiver is granted on unplatted properties, a current ALTA/ACSM/NSPS Land Title Survey (and as subsequently revised) shall be required. Said survey shall be prepared in a recordable format and filed at the County Clerk's office by the applicant.



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* After Expansion, 22 spaces existing	
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** 21.2% as shown on plan.	
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Note: All existing light poles (6) to be removed



EXHIBIT 'A'

Myers-Duren

Conceptual Site Plan

tep
173

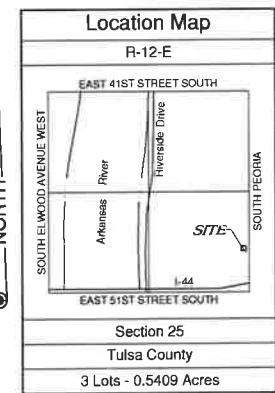
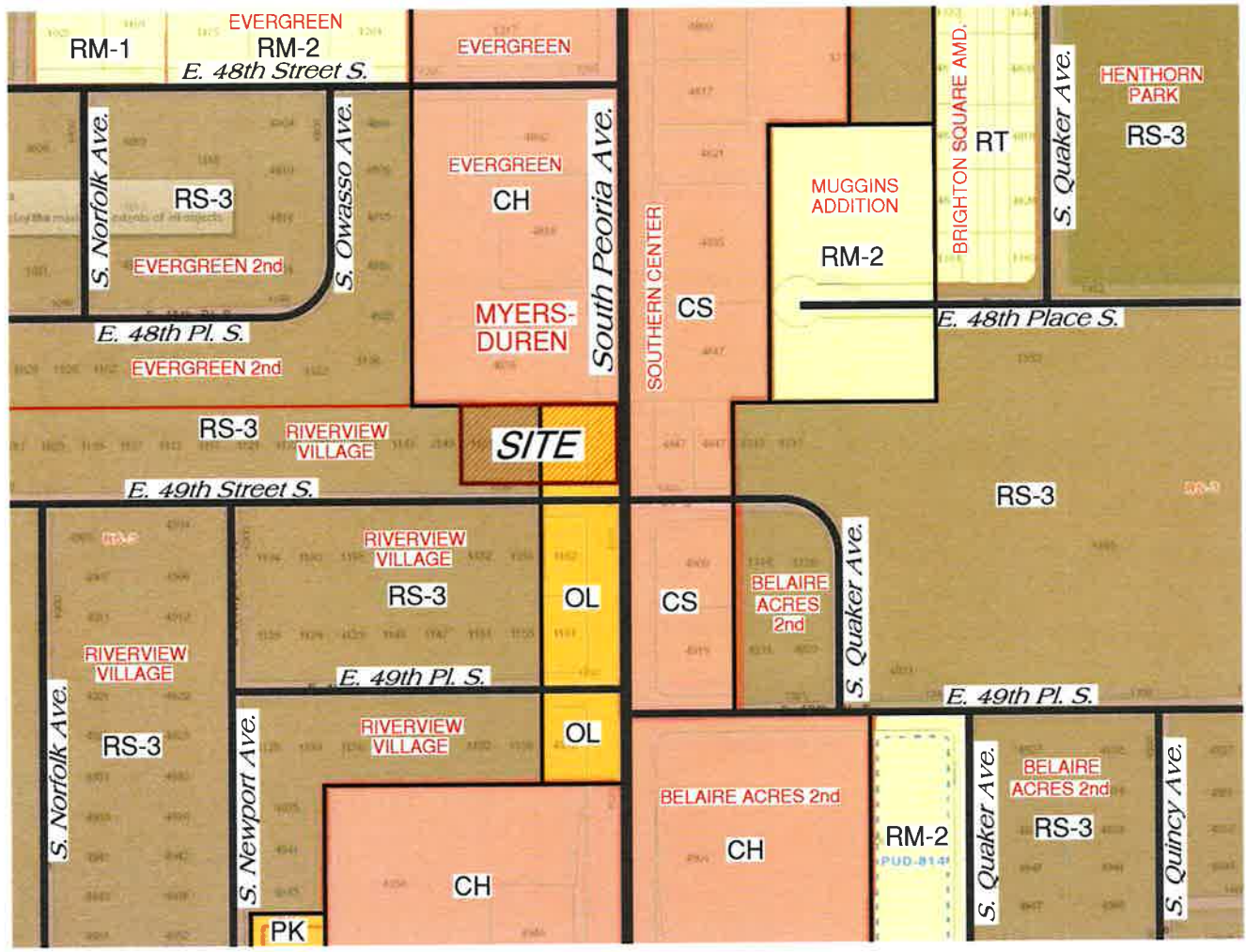


EXHIBIT 'C'
Myers-Duren
Surrounding Zoning and
Land Use Plan

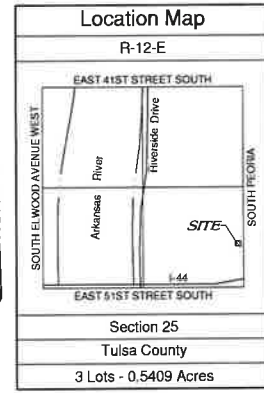
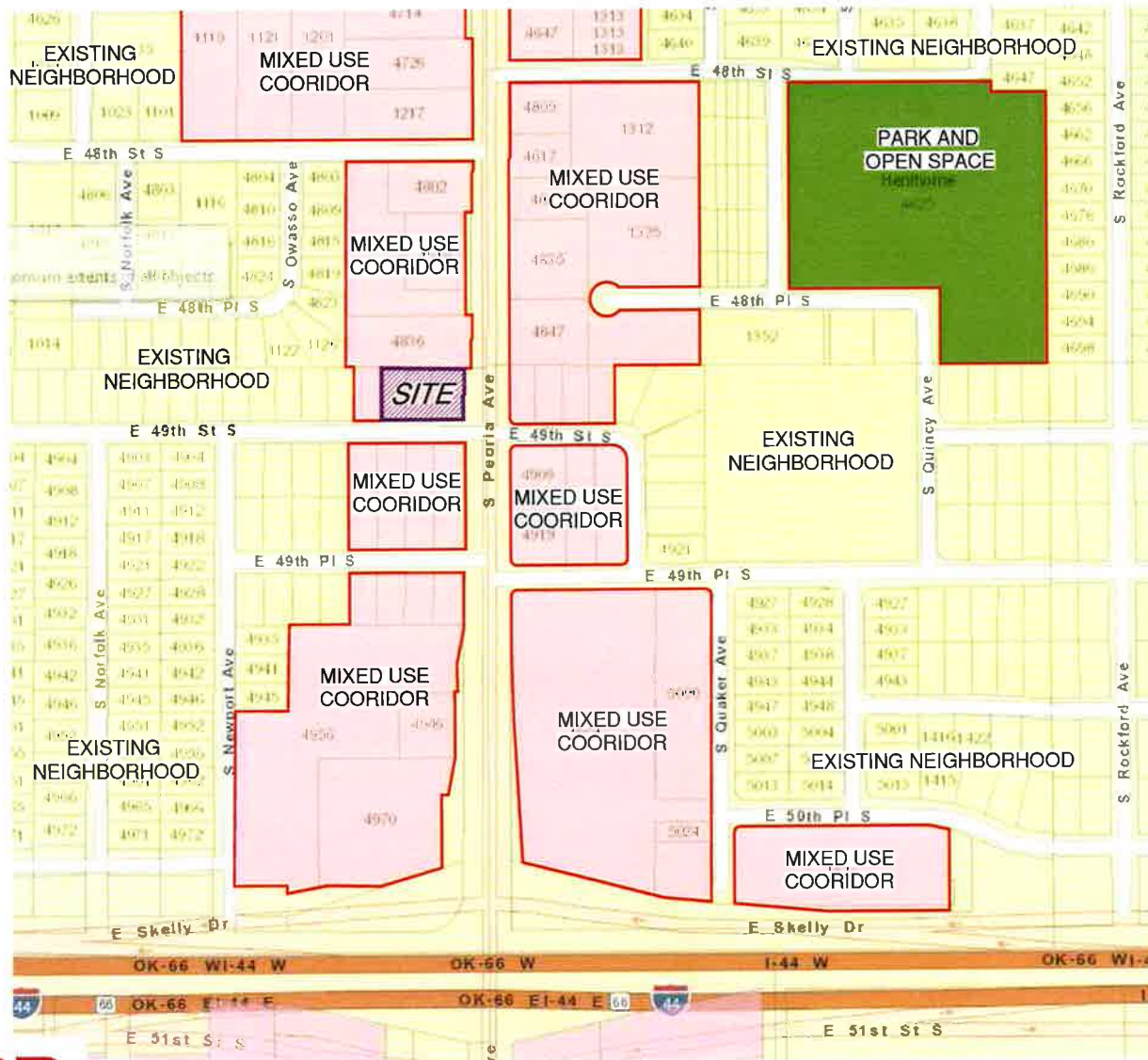


EXHIBIT 'D'
Myers-Duren
Comprehensive Plan
Land Use Plan

tep
175



Tulsa Metropolitan Area
Planning Commission

Case Number: PUD-838

Hearing Date: August 19, 2015

Case Report Prepared by:

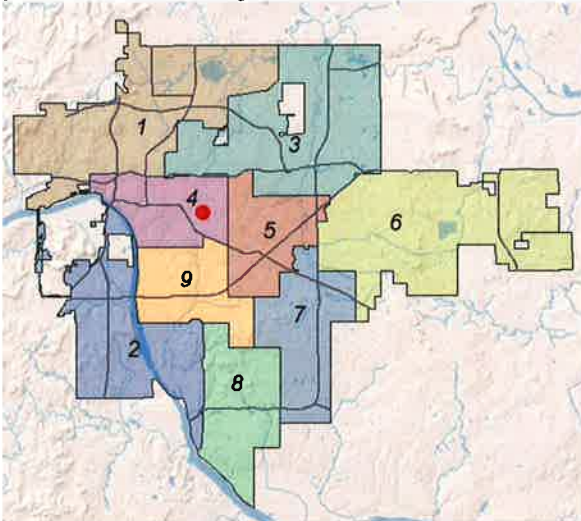
Dwayne Wilkerson

Owner and Applicant Information:

Applicant: Planscape Partners

Property Owner: The Rib Crib BBQ, Inc.

Location Map:
(shown with City Council Districts)



Applicant Proposal:

Present Use: Restaurant

Proposed Use: Restaurant

Concept summary: PUD allows reduction of the building setback lines and improved design standards for site redevelopment supporting Main Street land use designation.

Tract Size: 0.7 ± acres 31,317 ± sq. ft

Location: Southeast corner of S. Harvard Ave. and E. 16th St.

Zoning:

Existing Zoning: CS

Proposed Zoning: CS/ PUD-838

Comprehensive Plan:

Land Use Map: Main Street

Stability and Growth Map: Area of Growth

Staff Recommendation:

Staff recommends approval.

Staff Data:

TRS: 9309

CZM: 37

Atlas: 88 (55)

City Council District: 4

Councilor Name: Blake Ewing

County Commission District: 2

Commissioner Name: Karen Keith

18.1

SECTION I: PUD-838

APPLICANTS DEVELOPMENT CONCEPT:

Rib Crib BBQ has successfully operated a restaurant at 1601 South Harvard Ave. for many years. From the original facility, the building and parking lot have grown to better accommodate the restaurant's successful operation. However, the building, which started as a residence, can no longer be adequately maintained and cannot be reasonably expanded, so the decision has been made to remove the building, constructing a new Rib Crib BBQ on the same site. In the process, the parking lot will be improved to provide better access and function. In addition to providing a new Rib Crib restaurant, the Project will create a fresh, new image for the property on this high-profile site. Rib Crib has provided excellent jobs and a great dining resource in this neighborhood since 1992. Their desire is to reinvest in this neighborhood instead of closing or relocating to a suburban location.

The site is approximately .7 acres (31,317 square feet) in size. The proposed new restaurant will contain approximately 4,645 square feet, double the size of the existing building. The site improvements will include 48 parking stalls, a small reduction in on-site parking, but in excess of the minimum number of parking stalls required by the zoning regulations. The building exterior will be brick, cultured stone and synthetic stucco in design

The site is currently zoned CS – Shopping Center Commercial. The site setback and bulk regulations of this zoning district weren't designed for redevelopment of existing sites in older neighborhoods. The small size of the site, together with extensive front yard setback requirements, makes the site nearly unbuildable, and certainly too small to accommodate Rib Crib's redevelopment if the strict regulations of the CS district are applied. Therefore, PUD zoning is requested which will allow the redevelopment of the property in a style and character that fits with the surrounding neighborhood.

EXHIBITS:

- INCOG Case map
- INCOG Aerial (small scale)
- INCOG Aerial (large scale)
- Tulsa Comprehensive Plan Land Use Map
- Tulsa Comprehensive Plan Areas of Stability and Growth Map
- Applicant Exhibits:
 - Existing Site Plan
 - Proposed Site Plan
 - Landscape Plan
 - Lighting Plan
 - Conceptual Building Elevations and Renderings

SECTION II PUD-838 DEVELOPMENT STANDARDS:

Land Area (Net)	0.7 acres (31,317 square feet)
Existing Zoning:	CS
Proposed Zoning:	CS / PUD
Permitted Uses:	

182

All uses permitted by right in CS zoning district and uses customarily accessory to the permitted principle uses. Drive through windows for any uses are prohibited.

Maximum Building Floor Area: 0.75 FAR of the Net Land Area.

Building Setbacks*:

From South Harvard	0 feet
From East 16 th South*	10 feet
From East Boundary of PUD	10 feet**
From South Boundary of PUD	0 feet

*Measured from ½ of the right of way width designated on the Major Street and Highway Plan, or 25 feet if the street is not designated on that Plan.

**Plus 2 feet of setback for each 1-foot building height exceeding 25 feet, if the abutting property is within a Single Family Residential District

Maximum Building Height: NA

Minimum Landscaped Area: 15% of net land area

Vehicular Access and Circulation:

One access driveway is proposed to South Harvard Avenue and one to East 16th Street. Drive aisles of 24 feet and parking stalls nine feet in width and 18 feet in depth will provide easy circulation within the parking lot. On the east side of the parking lot, the parking stall depth to the curb is 16 feet with a two foot curb overhang area providing the necessary stall depth.

Provide an area for bicycle parking with convenient access to the front door of the proposed building. A bike rack will be installed with a minimum storage capacity for 6 bicycles.

Vehicular Parking quantity and sizes will meet the minimum standards of the Tulsa Zoning Code

Pedestrian Access:

Sidewalks will be installed or reconstructed as necessary to provide pedestrian access in the South Harvard and East 16th Street right of way. Adequate interior sidewalk construction to provide pedestrian connections to the doors will also be provided.

Landscaping and Screening:

In addition to the landscape standards defined in the landscape chapter of the Tulsa Zoning Code shrubs will be planted along the west and south boundaries of the PUD with a sufficient size and density to provide a continuous 3 foot tall screen within a three year growing cycle on the west and south side of the PUD.

A high quality, opaque, vinyl screening fence, light tan in color, will extend along the entire length of the east property boundary. The fence will be a minimum height of 6 feet above the existing ground level on the property line.

Lighting

All exterior lights will be cut-off lights to control the amount of light affecting adjacent properties. A photometric plan will be included with the detailed site plan supporting the design with 0 foot-candles or less within 10 feet of the east property line and not more than 5 foot-candles at the other property lines.

Pole height light fixture will be limited to a maximum of 18 feet above finished ground elevations.

Lighting on the east side of the building will only be allowed as illustrated on the concept building elevations and will be pointed down and away from adjacent residential properties east of the site. Light bulbs below the wall fixture covers will not be allowed on the east side of the building.

Signs

All signage on the north, west and south walls will conform to the standards defined in the PUD section of the Zoning Code. Refer to Section 1103.B.2.

Signage on the east wall of the proposed building will be allowed only as shown on the conceptual building elevations and will not be illuminated.

Trash and Mechanical Areas:

All mechanical and equipment areas (excluding utility service transformers, pedestals or other equipment provided by franchise utility providers), including those that are building mounted, will be effectively screened from public view.

The trash dumpster area will be screened by masonry enclosure with a minimum height and size to effectively screen the dumpster but not less than 6' in height. The doors for access will be an opaque screen with steel frames. The doors will be covered with an appropriate covering containing a minimum of 95% opacity on the gate frame.

Building Exterior

The building will impart a fresh, up-to-date appearance. The exterior building materials include stone, synthetic stucco and brick. These high quality materials will provide an improved appearance on this site and will be complementary to other buildings in the neighborhood. Particular attention has been given to the South Harvard building face. Increased window area and pedestrian-friendly amenities along that frontage will make the "fit" with the neighborhood apparent.

Subdivision Plat Requirement:

The existing site is comprised of several lots. Therefore, it is understood that a Lot Combination will be required to be completed following PUD approval and prior to commencement of construction of the new building.

A plat or plat waiver will be required. A plat waiver request is anticipated for this project.

18.4

Project Schedule

It is intended that demolition of the existing building will commence as soon as possible after development approval by INCOG and the City. Anticipating that the project would begin late in 2015, Spring, 2016, completion of the new restaurant would be expected.

DETAILED STAFF RECOMMENDATION:

PUD 838 is consistent with the Comprehensive Plan; and

PUD 838 is harmonious with the existing and expected development of the surrounding areas; and

The PUD provides a unified treatment of the development possibilities of the project site; and

The PUD is consistent with the stated purposes and standards of this Chapter; therefore

Staff recommends Approval of PUD-838 as outlined in Section II above.

SECTION III: Supporting Documentation

RELATIONSHIP TO THE COMPREHENSIVE PLAN:

Staff Summary: The PUD allows and supports many redevelopment opportunities for this site. The immediate development anticipated is to remove and reconstruct the restaurant in a style that will be complementary to the neighborhood and support the Main Street Vision of the Tulsa Comprehensive Plan.

Land Use Vision:

Land Use Plan map designation: Main Street

Main Streets are Tulsa's classic linear centers. They are comprised of residential, commercial, and entertainment uses along a transit-rich street usually two to four lanes wide, and includes much lower intensity residential neighborhoods situated behind. Main Streets are pedestrian-oriented places with generous sidewalks, storefronts on the ground floor of buildings, and street trees and other amenities. Visitors from outside the surrounding neighborhoods can travel to Main Streets by bike, transit, or car. Parking is provided on street, small private off street lots, or in shared lots or structures

Areas of Stability and Growth designation: Area of Growth

The purpose of an Area of Growth is to direct the allocation of resources and channel growth to where it will be beneficial and can best improve access to jobs, housing, and services with fewer and shorter auto trips. Areas of Growth are parts of the city where general agreement exists that development or redevelopment is beneficial. As steps are taken to plan for, and, in some cases, develop or redevelop these areas, ensuring that existing residents will not be displaced is a high priority. A major goal is to increase

economic activity in the area to benefit existing residents and businesses, and where necessary, provide the stimulus to redevelop.

Areas of Growth are found throughout Tulsa. These areas have many different characteristics but some of the more common traits are in close proximity to or abutting an arterial street, major employment and industrial areas, or areas of the city with an abundance of vacant land. Also, several of the Areas of Growth are in or near downtown. Areas of Growth provide Tulsa with the opportunity to focus growth in a way that benefits the City as a whole. Development in these areas will provide housing choice and excellent access to efficient forms of transportation including walking, biking, transit, and the automobile.

Transportation Vision:

Major Street and Highway Plan:

None except that the Secondary Arterial street right of way requirements for a 100 foot wide ultimate right of way. This project will be required to dedicate an additional 10 feet of right of way beyond what has been previously provided.

Trail System Master Plan Considerations: None

Small Area Plan:

Special District Considerations: None

Historic Preservation Overlay: None

DESCRIPTION OF EXISTING CONDITIONS:

Staff Summary: The site is currently occupied by surface parking and a restaurant. The restaurant will be removed and the driveway connections to South Harvard and East 16th Street will be modified to meet the standards of the proposed new restaurant.

Environmental Considerations:

This site has no known environmental limitations that would affect redevelopment.

Streets:

<u>Exist. Access</u>	<u>MSHP Design</u>	<u>MSHP R/W</u>	<u>Exist. # Lanes</u>
South Harvard Avenue	Secondary Arterial	100 feet	4
East 16 th Street	None	50 feet	2

Utilities:

Ample municipal utilities are readily available to the site. New utility services will be provided to the new building in compliance with City standards.

18.4

Surrounding Properties:

The subject tract is abutted on the east by single family residential property, zoned RS-3; on the north by East 16th Street but north of 16th is commercial property, zoned CS; on the south by commercial property, zoned CS; and on the west by commercial property, zoned CS on the West side of South Harvard.

SECTION IV: Relevant Zoning History

ZONING ORDINANCE: Ordinance number 11815 dated June 26, 1970, established zoning for the subject property.

Subject Property:

BOA-17417 July 9, 1996: The Board of Adjustment **approved** a *Variance* of the required setback from Harvard Avenue to expand an existing porch from 100' to 40' and a *Variance* of the required 50' setback from centerline of E. 16th Street to 37' per plan submitted, on property located at 1607 S. Harvard Ave.

BOA-14915 September 1, 1988: The Board of Adjustment **denied** a *Variance* of the screening requirements, on property located at 1617 S. Harvard Ave.

BOA-14809 April 21, 1988: The Board of Adjustment **approved** a *Variance* of the required setback from the centerline of Harvard Ave. from 100 ft. to 52 ft. to permit an addition to an existing building, per plan submitted, on property located at 1617 S. Harvard Ave.

BOA-10221 November 2, 1978: The Board of Adjustment **approved** a *Variance* of the setback requirements from 100 ft. to 45 ft. from the centerline of S. Harvard Ave. to permit enclosure of a porch, on property located at 1601 S. Harvard Ave.

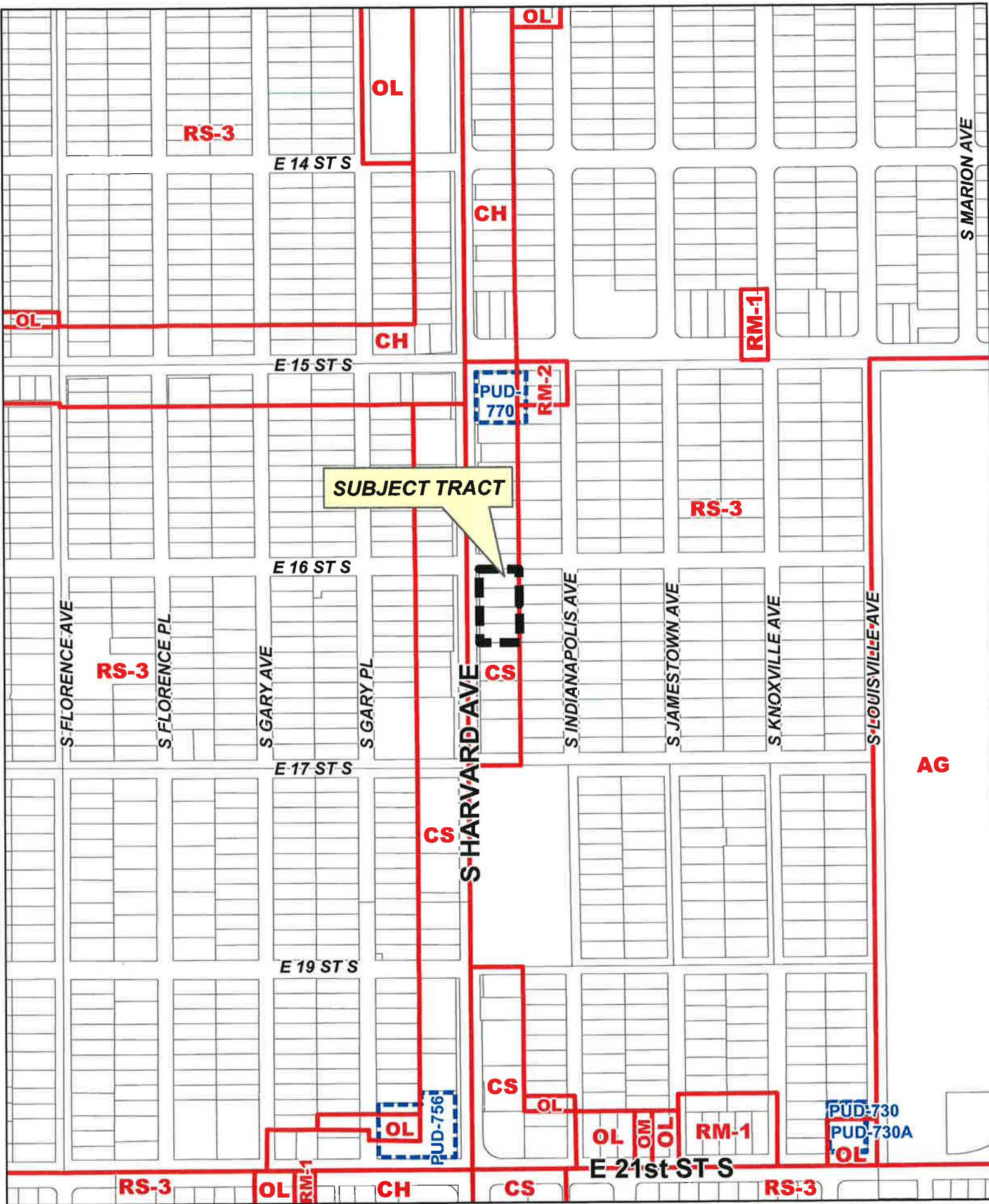
Surrounding Property:

PUD-770 August 2009: All concurred in **approval** of a proposed *Planned Unit Development* on a 27, 875± square foot tract of land for a Fiesta Mart Gas Station and office and commercial uses permitted, on property located southeast corner of East 15th Street and South Harvard Avenue

BOA-12700 July 14, 1983: The Board of Adjustment **approved** a *Special Exception* to permit for community services, cultural and recreation to allow a children's day care center, in an existing school in an RS-3 district, on property located at the southeast corner of E. 17th St. and S. Harvard Ave.

8/19/2015 1:30 PM

18.7



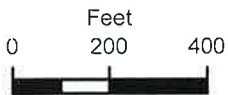
SUBJECT TRACT

PUD-838

19-13 09

18.8





Subject Tract

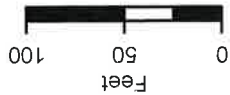
PUD-838

19-13 09

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: March 2014



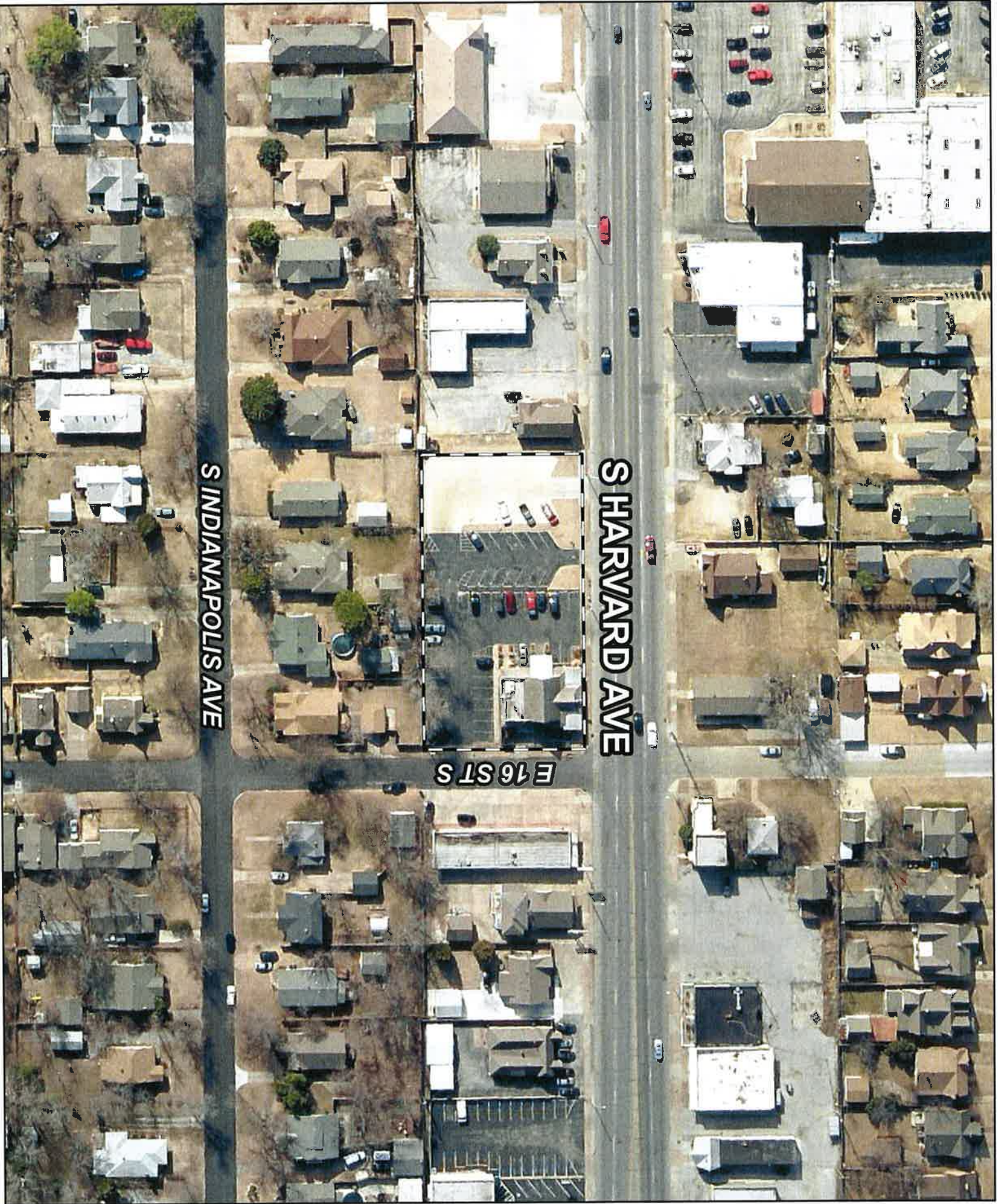


Subject Tract

19-13 09

PUD-838

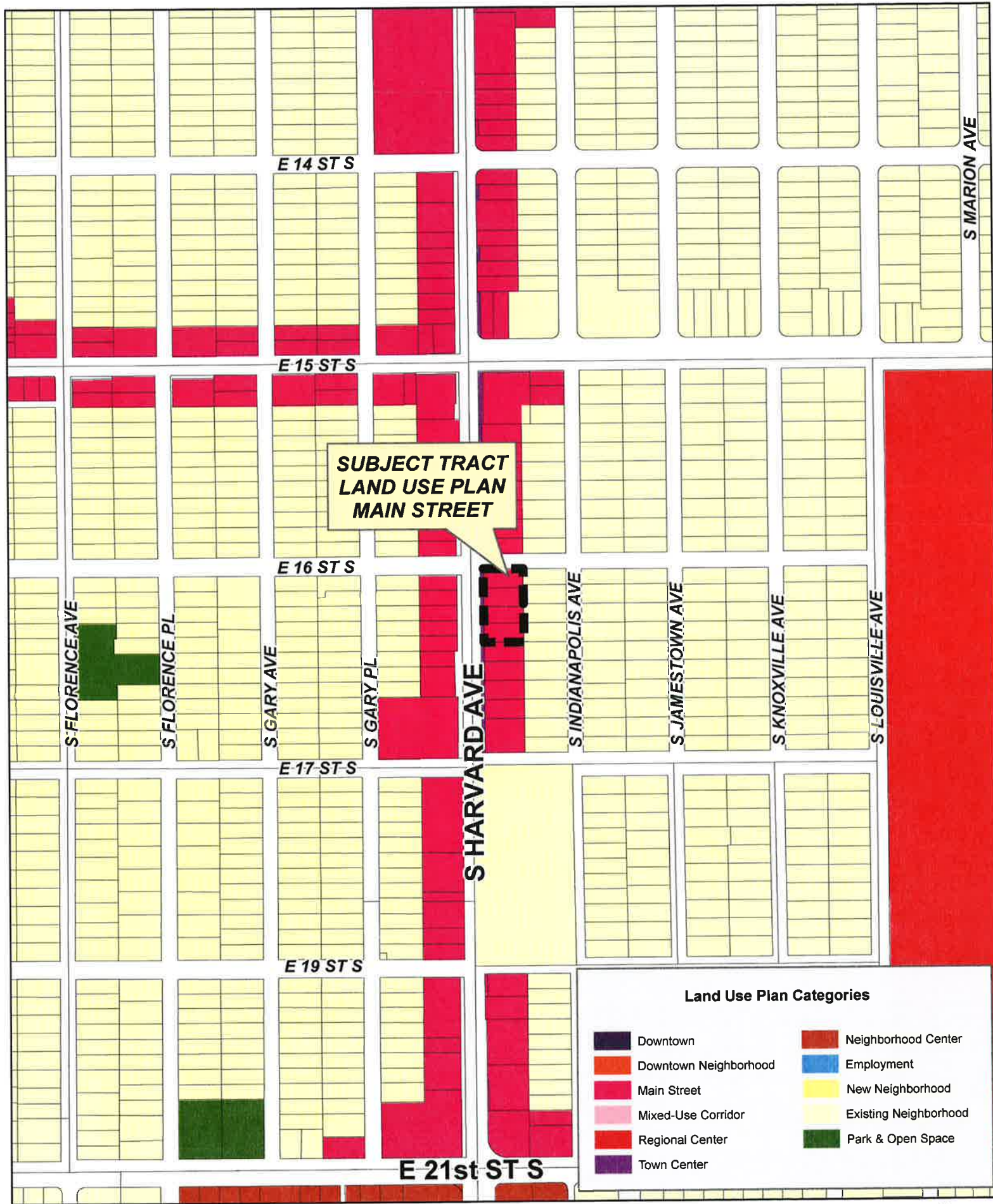
Note: Graphic overlays may not precisely align with physical features on the ground.
Aerial Photo Date: March 2014



S HARVARD AVE

E 16 STS

S INDIANAPOLIS AVE



**SUBJECT TRACT
LAND USE PLAN
MAIN STREET**

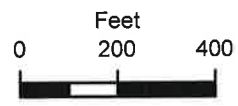
Land Use Plan Categories

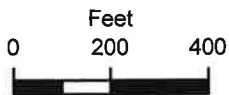
- | | |
|--|---|
|  Downtown |  Neighborhood Center |
|  Downtown Neighborhood |  Employment |
|  Main Street |  New Neighborhood |
|  Mixed-Use Corridor |  Existing Neighborhood |
|  Regional Center |  Park & Open Space |
|  Town Center | |

PUD-838

19-13 09

18.11

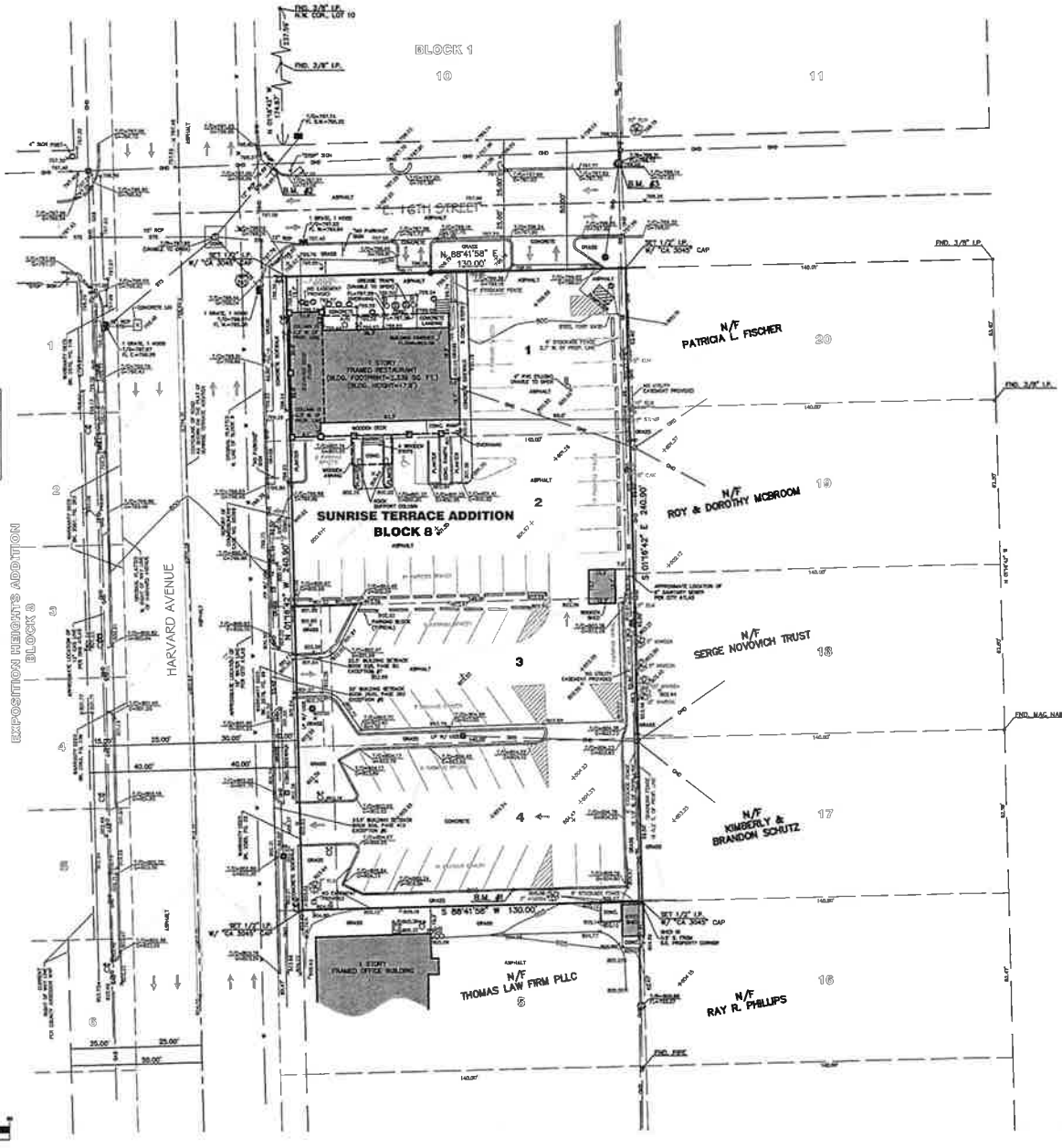




PUD-838

19-13 09





SURVEYOR'S CERTIFICATE
September 24, 2014

This survey is made for the benefit of:

TYOON, L.L.C., AN OKLAHOMA LIMITED LIABILITY COMPANY
TYOON PROPERTIES, L.L.C.
TYOON PROPERTIES, L.L.C., AN OKLAHOMA LIMITED LIABILITY COMPANY
GUARANTY ABSTRACT COMPANY
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

I, Shaun Christopher Axton, a Registered Professional Land Surveyor, do hereby certify to the above parties, as of the date set forth above that I or others under my direct supervision, have made a careful survey of a tract of land described as follows:

Lots One (1), Two (2), Three (3) and Four (4), Block Eight (8), SUNRISE TERRACE ADDITION to the City of Tulsa, Tulsa County, State of Oklahoma, according to the recorded plat thereon, LESS AND EXCEPT the West Two (2) feet thereof.

Said tract of land contains an area of 31,317 square feet, or 0.7189 acres, more or less.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items of Table A, hereof. The work was completed on September 24, 2014.

Shaun Christopher Axton
Shaun Christopher Axton, P.L.S. 1164

- Notes:
- The bearing of South 81°16'42" East as shown on the East line of Block 8 was used as the basis of bearing for this survey.
 - This map or plat and the survey on which it is based were made in accordance with the Oklahoma Minimum Standards for the Practice of Land Surveying as adopted by the Oklahoma State Board of Licensure for Professional Engineers and Land Surveyors, and the Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA, ACSM, and NSPS in 2011 and meets the professional requirements of an ALTA Survey, as defined therein, and includes items 1, 2, 3, 4, 5, 6(A), 7(A), 7(B)(1), 7(C), 8, 9, 11, 13, 14, 17, and 18 in Table A contained therein.
 - The accompanying survey was made on the ground and correctly shows the location of all buildings, structures and other improvements situated on the above premises, and that the property described herein is the same as the property described in Old Republic National Title Insurance Company Commitment No. 244399 dated September 2, 2014, provided to us by Guaranty Abstract Company, and that all easements, covenants and restrictions referenced in said file commitment or apparent from a physical inspection of the site or otherwise known to me have been plotted herein or otherwise noted as to their effect on the subject property; that there are no hidden encroachments on the subject property or upon adjacent land abutting said property unless shown herein.
 - Said described property is located within an area having a Zone Designation "C" (Areas determined to be outside of the 0.25 annual chance floodplain) by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 4242X0240L, with a date of identification of October 16, 2012, for Community No. 405301, in Tulsa County, State of Oklahoma, which is the current Flood Insurance Rate Map for the community in which said premises is situated.
 - The Property has direct physical access to Harvard Avenue and E. 16th Street, dedicated public streets or highways.
 - The number of striped parking spaces located on the property is 66, 1 of which are designated for handicapped use.
 - Utility Statements: The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown completely and accurately reflect the actual location of such utilities. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as available from information available. The surveyor has not physically located the underground utilities.
 - At the time of this survey, there was/was no observable surface evidence of earth moving work, building construction or building additions within recent months.
 - At the time of this survey, there was/was no observable evidence of the subject property being used as a solid waste dump, dump or sanitary landfill.

Items listed in Schedule B Part 8 of Old Republic National Title Insurance Company Commitment No. 244399 dated September 2, 2014, provided to us by Guaranty Abstract Company, corresponding to the following exception numbers:

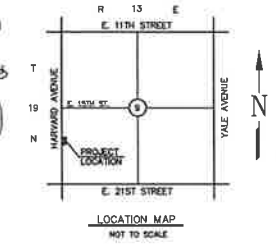
- Partial easement reserved to the City of Tulsa, Oklahoma, in ORDINANCE NO. 3086, recorded in Book 923, Page 201, affects subject property inasmuch as it is a part of the land described therein.
- RIGHT OF WAY GRANT to Missouri-Kansas-Texas Railroad Company, recorded in Book 1106, Page 836, does not affect subject property.
- POWER EASEMENT to the City of Tulsa, Oklahoma, recorded in Book 1190, Page 366, does not affect subject property.
- Restrictive covenants contained in GENERAL WARRANTY DEED, recorded in Book 540, Page 570, affects subject property inasmuch as it describes Lots 1 and 2.
- Restrictive covenants contained in GENERAL WARRANTY DEED, recorded in Book 928, Page 83, affects Lot 3 and is shown herein.
- BUILDING SET-BACK COVENANT recorded in Book 2820, Page 392, affects Lot 3 and is shown herein.
- Restrictive covenants contained in GENERAL WARRANTY DEED, recorded in Book 559, Page 413, affects Lot 4 and is shown herein.

1601 S. Harvard—Tulsa, OK
ALTA/ACSM Land Title Survey

P.O. Box 4518 — Norman, OK 73070
405.846.3328 Phone & Fax — shaun@axton.com
U.S. Certificate of Authorization No. 2645 — Expires June 30, 2015

Project No: 2787 Date: 9/24/14 Scale: 1"=20'
Drawn By: MMB Perry Chat: JAM Rechecked: J/15/15
DWG File: 2787.dwg Tbl/Date Plc: 2787.DWG@SHAUN.COM

Mark Deal and Associates
PROFESSIONAL CORPORATION



ZONING DATA

DISTRICT C-5 COMMERCIAL SHOPPING CENTER DISTRICT

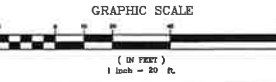
MINIMUM YARD REQUIREMENTS

FRONT:	0'
SIDE:	0'
REAR:	0'

- #1 - CURB SOLUTION
ELEV. TO TOP OF CURB
SOUTH CURB OF FAR
SOUTH PARKING SPACES
ELEVATION: 5.0'
- #2 - CURB TO TOP OF CURB
ELEV. CORNER OF INTERSECTION
OF 16TH ST & HARVARD AVE.
ELEVATION: 5.0'
- #3 - CURB TO TOP OF CURB
ELEV. CORNER OF INTERSECTION
OF 16TH ST & HARVARD AVE.
ELEVATION: 5.0'

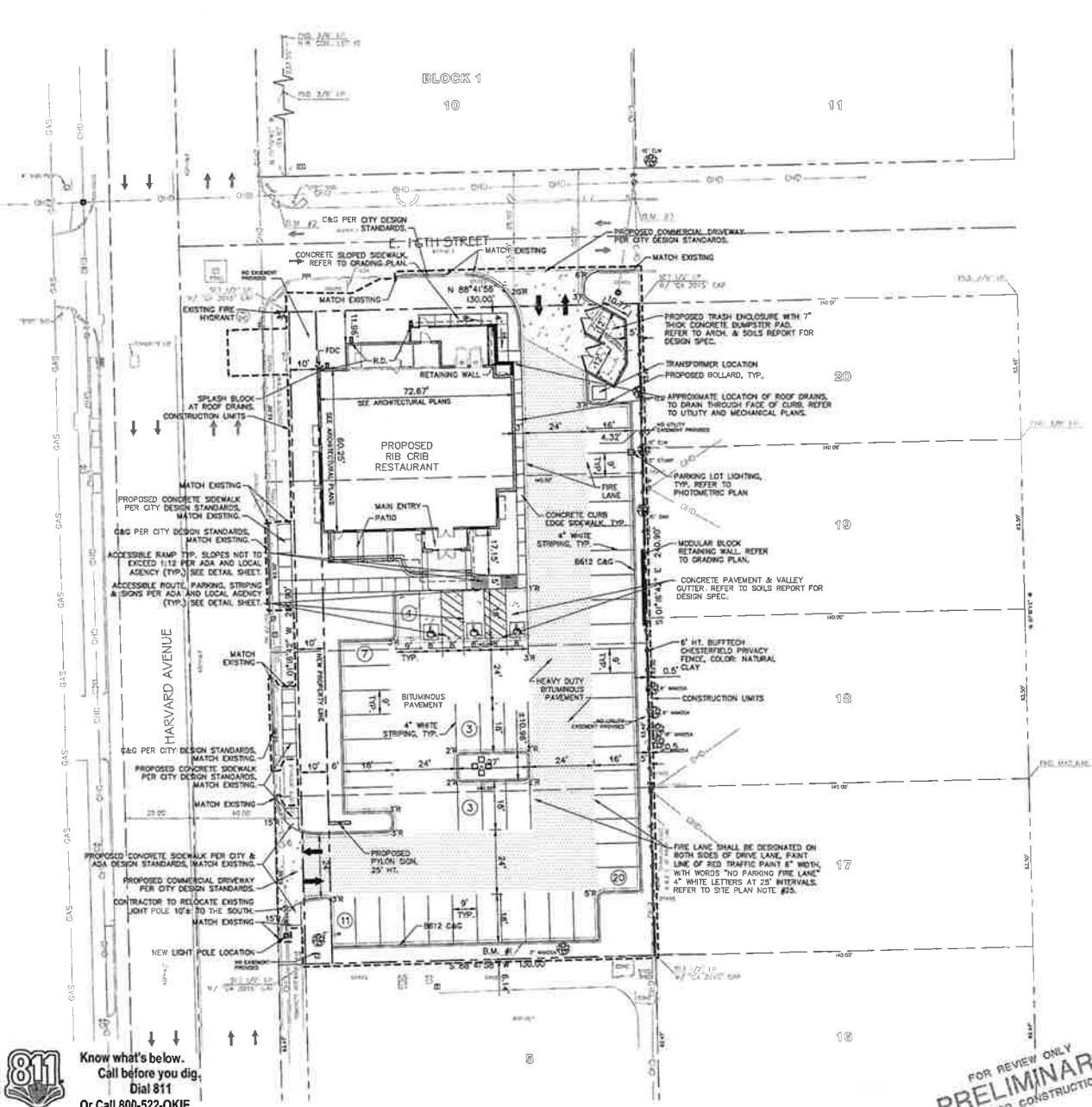
LEGEND

○ - AIR CONDITIONING UNIT	○ - FULL KEY
○ - CLEAN OUT	○ - POWER POLE
○ - ELECTRIC MANGLE	○ - POWER POLE BY UNDERGROUND SERVICE
○ - ELECTRIC PUMP	○ - SPRINKLER HEAD
○ - FIRE STOP CONNECTION	○ - SPRINKLER VALVE
○ - FIRE ALARM	○ - BATTERY REVER MANGLE
○ - FUEL FILL PORT	○ - STEEL BEVED MANGLE
○ - GAS METER	○ - SINK
○ - GAS PIPED	○ - SUSPENSE MANGLE
○ - GAS VALVE	○ - TELEPHONE MANGLE
○ - HOT OIL	○ - TELEPHONE UNDERGROUND
○ - MANT	○ - TRAFFIC SIGNAL LIGHT
○ - LIGHT POLE	○ - VENT
○ - MOUNTING HELL	○ - WATER METER
○ - MAIL BOX	○ - WATER VALVE
○ - MANHOLE	○ - WATER VALVE
○ - MECH ROOM	○ - WRECK DEMON
○ - MOUNTING LIGHT	○ - BOLLARD LIGHT



18.13

DocName: s:\2014\40121\1\con_sheets\140121\140121.dwg - 01 - 2015 - 11 - 03.dwg



SITE DATA:

ZONING:	CS (SHOPPING CENTER COMMERCIAL DISTRICT)
PROPOSED ZONING:	PUD RESTAURANT
PROPOSED USE:	RESTAURANT
EXISTING LOT AREA:	31,317 S.F. (0.72 ACRES)
EXISTING BUILDING HEIGHT:	ONE STORY
PROPOSED JOB CRIB FOOTPRINT:	4,845 S.F.
PROPOSED BUILDING HEIGHT:	ONE STORY (22'-10.5")
PROPOSED SEATING CAPACITY:	154 SEATS
REQUIRED PARKING:	47
RESTAURANT:	1 / 100 SQUARE FEET (4,845 / 100 = 47)
PROVIDED PARKING:	48 (3 ACCESSIBLE PARKING INCLUDED)
LANDSCAPE AREA:	218

SITE PLAN NOTES:

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- ALL WORK PERFORMED WITHIN THE R.O.W. SHALL COMPLY WITH THE CITY/DOJ ENGINEERING DESIGN STANDARDS. GENERAL CONTRACTOR RESPONSIBLE FOR ANY REQUIRED PERMITS.
- CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE ALL UNDERGROUND FACILITIES CONTACT OKLAHOMA ONE-CALL SYSTEM, INC. DIAL 811 OR (800) 522-0946, TWO BUSINESS DAYS PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION & REMOVAL OF ALL EXISTING STRUCTURES WHICH INTERFERE WITH NEW WORK AS SHOWN.
- ALL DIMENSIONS, GRADES, EXISTING AND PROPOSED INFORMATION SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO INFORMATION SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- PROTECT EXISTING CONCRETE SIDEWALKS DURING ALL PHASES OF CONSTRUCTION. CONTRACTOR TO REPLACE ANY CRACKED OR BROKEN PANELS CAUSED BY SITE CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES & STRUCTURES FROM HAZARDS ASSOCIATED WITH HIS CONSTRUCTION ACTIVITIES & SHALL BE RESPONSIBLE FOR ALL DAMAGES TO PROPERTIES & STRUCTURES THAT OCCUR AS A RESULT OF THESE ACTIVITIES.
- CONTRACTOR SHALL NOT IMPERE EXISTING TRAFFIC CIRCULATION TO ADJACENT BUSINESSES. COORDINATE WORK WITH ADJACENT PROPERTY OWNER.
- CONTRACTOR SHALL PERFORM SWEEPING ON PRIVATE PARKING AREAS AND PUBLIC STREETS AT LEAST ONCE A WEEK, ONCE A DAY IF NEEDED.
- CONTRACTOR SHALL BE HELD FULLY RESPONSIBLE TO PREVENT AND ELIMINATE ANY DUST NUISANCE OCCASIONED BY AND DURING CONSTRUCTION UNTIL THE PROJECT HAS BEEN COMPLETED AND MARKED OVER.
- CONTRACTOR TO PROTECT THE EXISTING VEGETATION TO BE RETAINED DURING SITE AND BUILDING CONSTRUCTION PROCESS, AS APPLICABLE.
- THE INSTALLATION OF EROSION & SEDIMENT CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITY.
- ALL DIMENSIONS SHOWN ARE TO TOP FACE OF CURB, EDGE OF SIDEWALK OR EXTERIOR OF BUILDING UNLESS OTHERWISE NOTED. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS AND SPECIFICATIONS FOR LOCATION OF CURBS, RAMPS, CONCRETE APRONS AND STOPS.
- ALL CONCRETE CURB & GUTTER ADJACENT TO CONCRETE WALK SHALL BE SEPARATED BY A 1/2 INCH EXPANSION JOINT.
- CONTINUOUS CONCRETE CURB & GUTTER WHICH CHANGES TYPE SHALL HAVE A FINE FOOT TRANSITION.
- ALL CURB & GUTTER TO BE CONCRETE 8512 TYPE CURB UNLESS NOTED OTHERWISE, PER THE GOVERNING AGENCY STANDARDS.
- BITUMINOUS AND CONCRETE PAVEMENT SECTION DESIGN TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.
- ALL STRIPING SHALL BE A HIGH WHITE PAVEMENT STRIPING, PER GOVERNING AGENCY STANDARDS.
- ACCESSIBLE ROUTE SHALL BE PROVIDED FROM ACCESSIBLE STALLS TO BUILDING ENTRANCE (SEE ADAC REQUIREMENTS). POLE MOUNT APPROVED SIGNS, ONE WAY ACCESSIBLE, CENTER ON STALL LOCATION PER CONADA. CONTRACTOR PRINT INTERNATIONAL SYMBOL OF ACCESSIBILITY WHITE ON BLUE BACKGROUND. C.C. TO ENSURE SLOPE OF PAVEMENT AT ACCESSIBLE PARKING STALLS & ACCESSIBLE DOES NOT EXCEED 2% IN ALL DIRECTIONS.
- CONCRETE DUMPSTER PAD TO BE 7" THICK CONCRETE PAVEMENT WITH 6'X6' 10/10 W.W.M. (CONSTR. JTS @ 10' O.C.) OVER 4" CLASS V AGGREGATE BASE REFER TO SOLS REPORT. MAINTAIN POSITIVE DRAINAGE. REFER TO ARCHITECTURAL PLANS FOR DUMPSTER DESIGN.
- REFER TO PHOTOMETRIC PLAN FOR LOCATIONS, FOOTCANDLE PRINT OUT AND SPECIFICATIONS. FOUNDATION BY CONTRACTOR.
- CONSULT ARCHITECTURAL PLANS FOR ROOF DRAIN LOCATIONS. RUN ROOF DRAINS UNDERGROUND THROUGH FACE OF CURB, UNLESS OTHERWISE NOTED ON PLANS.
- THE BUILDING WILL BE SPINNED. REFER TO ARCHITECTURAL PLANS.
- CONTRACTOR SHALL COORDINATE WITH THE CITY FIRE MARSHAL FOR POSTING OF FIRE LANES, CURB MARKINGS & SIGNAGE. PROVIDE LONG BOX AS REQUIRED BY FIRE MARSHAL TO BE LOCATED ADJACENT TO ENTRANCE, MOUNTED BETWEEN 4' & 8' ABOVE THE FINISHED FLOOR ELEVATION. REFER TO ARCHITECTURAL PLANS. FIRE APPARATUS ACCESS LANES SHALL BE MARKED WITH 4" RED STRIPING ON EACH SIDE OF THE FIRE LANE ALONG THE ENTIRE LENGTH OF THE LANE AND TWO PARKING FIRE LANES SHALL BE STRIPED IN 1" X 2" LETTERS EVERY 50' PERPENDICULAR TO THE FIRE LANE. IF A CURB IS PRESENT ALONG ONE SIDE OF THE LANE THE CURB SHOULD BE PAINTED RED IN PLACE OF THE 4" STRIPING (SEE 533.3).
- SIGNS ARE TO BE INSTALLED BY LICENSED SIGN CONTRACTOR UNDER SEPARATE PERMIT.

SITE LEGEND:

PROPERTY LINE	INTERIOR LOT LINE	EXISTING CURB & GUTTER	PROPOSED CURB & GUTTER	PROPOSED CONCRETE	PROPOSED HEAVY DUTY BITUMINOUS	PROPOSED LUMINARIES	TRAFFIC ARROWS	CONSTRUCTION LIMITS
---	---	---	---	---	---	---	---	---

SURVEY STANDARD SYMBOLS	
---	FIRE HYDRANT
---	GAS METER
---	GAS VALVE
---	SEPT.
---	LIGHT POLE
---	MARKER
---	POWER POLE
---	POWER POLE W/ UNDERGROUND SERVICE
---	SEWER SEWER MANHOLE
---	STORM SEWER MANHOLE
---	STOP
---	UNRECORDED ANGLE
---	TRAFFIC SIGNAL LIGHT
---	WATER METER
---	WATER VALVE

FOR REVIEW ONLY
PRELIMINARY
NOT FOR CONSTRUCTION

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Minneapolis, MN 55415
612 758 3050 FAX
612 758 3053 FAX
www.alliant-enc.com



RIB CRIB BBQ RESTAURANT
1601 SOUTH HARVARD AVENUE
TULSA, OKLAHOMA

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of OKLAHOMA.

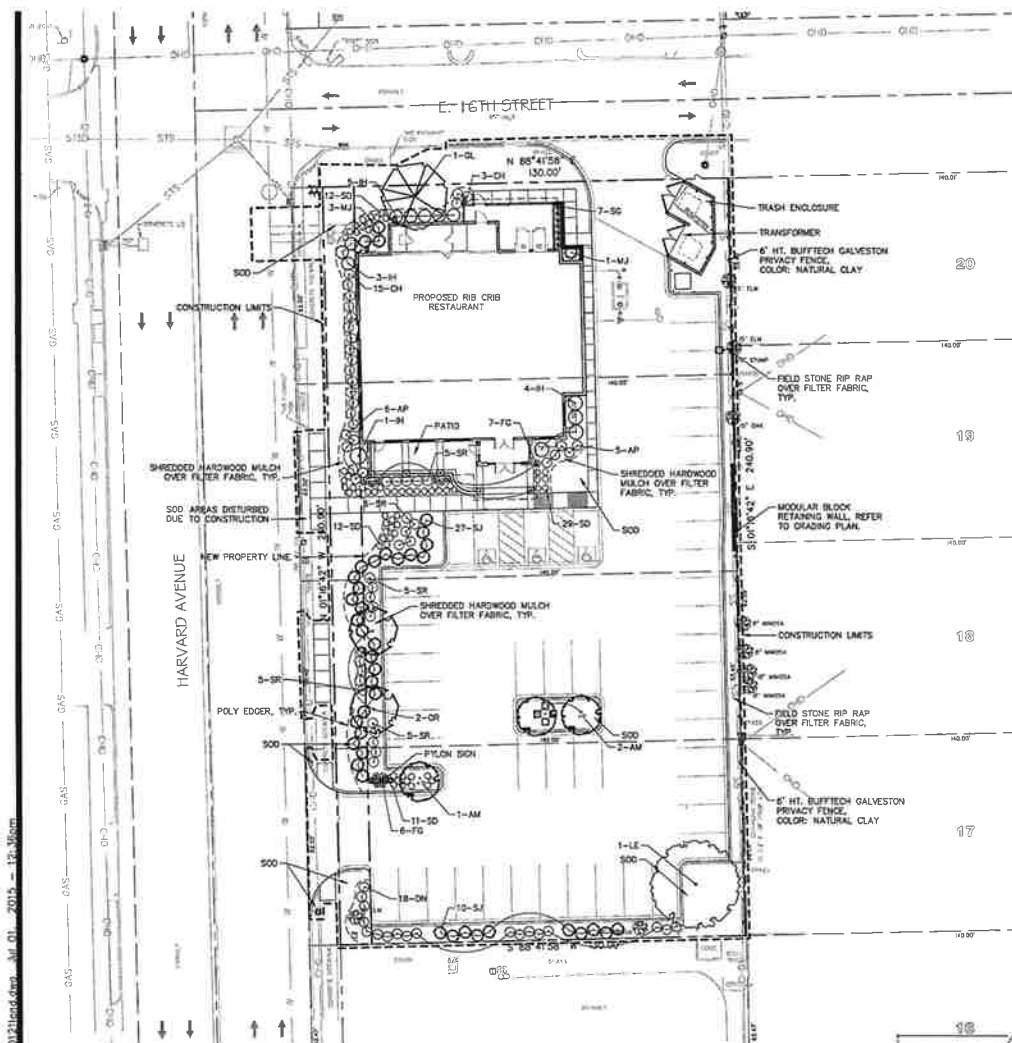
Date	License No.
QUALITY ASSURANCE/CONTROL	
BY	DATE
DATE	ISSUE
7.25.13	Final Site Plan
8.18.13	Client Review
7.7.13	POD Resubmit

PROJECT TEAM DATA	
DESIGNED:	MMW
DRAWN:	MMW
PROJECT NO.:	214-0121

C-2
SHEET 4 of 10

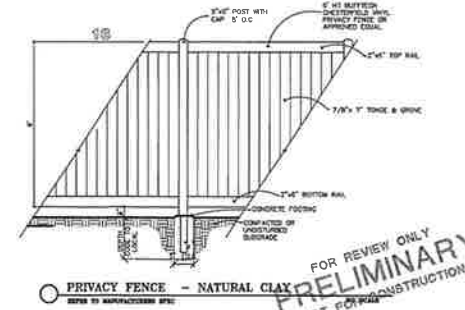
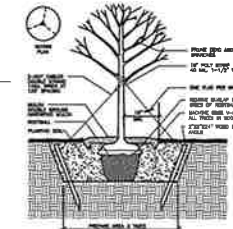
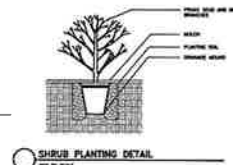
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Drawing notes: S:\2014\140121\140121.dwg - 12/16/2015 - 12:16pm



KEY	QTY.	COMMON NAME/BOTANICAL NAME	MATURE H. X W.	SIZE	NOTES
LANDSCAPE SCHEDULE					
MATURE TREES					
LE	1	LACINIAE CUM/Artemis confertifolia 'Ara' GREENSPINE LINDEN/Tilia cordata 'Bicentennial'	45' x 45'	8' H/15' CAL. B&B 8' H/15' CAL. B&B	
AM	2	FLAME AMUR MAPLE / Acer glabrum 'Flame' - CLUMP FORM OKLAHOMA REDBUD/Cercis canadensis var. 'Okonoma'	20' x 16'	8' H/11' CAL. B&B	Medium Deep water feeder
SMALL TREES					
SH	11	ARBOREOUS POTENTILLA / Potentilla 'Robotschoff'	3' x 4'	3 GAL. POT	White flowers Evergreen
CH	18	CAROLINA HOLLY / Ilex cornuta 'Starburst'	4' x 4'	3 GAL. POT	Evergreen Deep water feeder
SH	25	SHRUB ROSE 'CAME FRIZZ WONDER' / Rosa 'Magellan'	3' x 3'	3 GAL. POT	Evergreen Deep water feeder
SH	19	WANDER 'SOL' STRAWBERRY / Fuchsia domingensis 'Soft Shred'	4' x 4'	3 GAL. POT	Evergreen Deep water feeder
SH	13	AGONY HILL DOGWOOD / Cornus florida 'Balladee'	4' x 4'	3 GAL. POT	Evergreen Deep water feeder
SH	7	SEA GREEN SHAMBER / Juniperus chinensis 'Sea Green'	12' x 4'	3 GAL. POT	Evergreen Deep water feeder
SH	4	MEDUSA JUMPER / Juniperus scopulorum 'Medusa'	12' x 4'	3 GAL. POT	Evergreen Deep water feeder
PERENNIALS					
BS	7	LITTLE BLUE STEM / Schizachyrium scoparium	36" x 18"	1 GAL. POT	White flowers
FD	13	OSTER FISH BELL CASSIS 'SARL' / FORTISIA / Osteocephalus x oculiflora	40" x 30"	1 GAL. POT	White flowers
SD	54	STELLA DE SUE ENCLAY / Helianthus 'Stella de Sue'		1 GAL. POT	White flowers

NOTE: CALIBER OF TRUNK SHALL BE MEASURED 1" ABOVE THE GROUND.



LANDSCAPE NOTES:

- LANDSCAPE CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID TO BECOME COMPLETELY FAMILIAR WITH SITE CONDITIONS.
- ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO CONFORMANCE WITH ANSI Z60.1, THE "AMERICAN STANDARD FOR NURSERY STOCK" AND THE ACCEPTED STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN. SOIL FREE OF LIME ROCK, PEBBLES, OR OTHER CONSTRUCTION DEBRIS SHALL BE PROVIDED.
- SOIL FREE OF LIME, ROCK, PEBBLES, OR OTHER CONSTRUCTION DEBRIS SHALL BE PROVIDED.
- IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER SHOWN ON THE PLANT LIST, THE NUMBER SHOWN ON THE PLAN SHALL GOVERN.
- INSTALL 1/4" B&B BANK OF SELECT TOPSOIL TO ALL SHRUB AND PERENNIAL AREAS. CONTRACTOR IS RESPONSIBLE FOR THE FINE GRADING OF TURF GRASS AREAS.
- CONTRACTOR WILL STAKE OR MARK ALL PLANT MATERIAL LOCATIONS PRIOR TO INSTALLATION. CONTRACTOR SHALL HAVE OWNERS REPRESENTATIVE APPROVE ALL STAKING PRIOR TO INSTALLATION.
- ALL SHRUB AREAS UNLESS SPECIFIED AS OTHER, TO BE BED MULCHED WITH 4" DEPTH OF HARDWOOD MULCH OVER WEED BARRIERS. EDGES TO BE VALLEY VIEW BLACK DIAMOND EDGING OR APPROVED EQUAL.
- INSTALL 3-4" DEPTH HARDWOOD SHREDDED MULCH, 3'-6" FROM BASE OF THE TREES THAT ARE ISOLATED FROM PLANT BEDS. DO NOT PILE MULCH AGAINST THE BASE OF A PLANT OR TREE TRUNK. PILE THE MULCH AWAY FROM THE BASE ONE TO TWO INCHES.
- CONTRACTOR SHALL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. ANY MATERIAL WHICH DIES, OR DEFLORATES (PRIOR TO ACCEPTANCE OF WORK) WILL BE PROMPTLY REMOVED AND REPLACED (AS PER DIRECTION OF OWNER).
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- LANDSCAPE CONTRACTOR TO WATER AND MAINTAIN ALL PLANT MATERIALS AND SOIL UNTIL INITIAL ACCEPTANCE.
- ALL MATERIAL SHALL COMPLY WITH STATE AND LOCAL CONSTRUCTION STANDARDS.
- REPAIR AT NO COST TO OWNER ALL DAMAGE TO PROPERTY RESULTING FROM LANDSCAPE WORK.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO UTILITIES DURING THE COURSE OF THE WORK. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO UTILITIES, SITE STRUCTURES, ETC. RESULTING FROM LANDSCAPE WORK.
- LANDSCAPE CONTRACTOR TO COORDINATE INSTALLATION WITH GENERAL CONTRACTOR.
- AFTER COMPLETION OF WORK AND PRIOR TO LEAVING SITE, SWEEP AND WASH ALL PAVED SURFACES AND REMOVE ALL DEBRIS RESULTING FROM LANDSCAPE OPERATIONS. LANDSCAPE CONTRACTOR SHALL REMOVE ALL OF THEIR OWN OBSTACLES FROM SITE.
- ALL PLANTING SOIL BELOW ROOT BALL SHALL BE COMPACTED AND THOROUGHLY WATERED PRIOR TO PLANTING.
- LANDSCAPE CONTRACTOR TO PROTECT THE EXISTING VEGETATION TO BE RETAINED DURING SITE AND BUILDING CONSTRUCTION PROCESS, AS APPLICABLE.
- LANDSCAPE CONTRACTOR SHALL INSTALL BUFFALO GRASS SOO (TURF GRASS) IN DENOTED AREAS PER LOCAL INDUSTRY STANDARDS. SOO SHALL BE LAID PARALLEL TO THE CONTOURS AND HAVE STAGGERED JOINTS.
- CONTRACTOR SHALL PROVIDE DESIGN AND INSTALLATION OF A WATER EFFICIENT IRRIGATION PLAN. IRRIGATION SYSTEM INCLUDING CONTROLS, ELECTRICAL AND WATER SERVICE CONNECTIONS WITH 100% COVERAGE FOR SOO AND SHRUB AREAS PER GOVERNING AGENCY AND LOCAL DESIGN REQUIREMENTS. TREES AND SHRUBS WILL BE IRRIGATED BY A SEPARATE LINE FROM SOO/GRASS. THIS INCLUDES TREES PLANTED IN SOO/GRASS DESIGN TO INCLUDE DRIP IRRIGATION IN SHRUB AREAS ADJACENT TO BUILDING. EXCESS WATER SHALL NOT COME IN CONTACT WITH BUILDING AND FOUNDATIONS. THE IRRIGATION SYSTEM SHALL HAVE A FLOW/PRESSURE SENSOR SHUT-OFF. USE RAINFALL OR APPROVED EQUAL. COORDINATE INSTALLATION WITH C.C. AND WORK OF OTHER SECTORS.
- GENERAL CONTRACTOR SHALL FOLLOW THE STATE SOIL AND EROSION CONTROL SPECIFICATIONS FOR DISTURBED AREA STABILIZATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REQUIRED PERMITS TO BE ISSUED BY RELEVANT AGENCY.

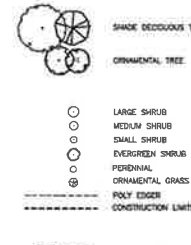
LANDSCAPE REQUIREMENTS

LANDSCAPE REQUIREMENTS	REQUIRED	PROVIDED
FRONTAGE AND PERIMETER:	156	216
LANDSCAPE AREA:	5' WIDE	5' WIDE
LANDSCAPE YARD WIDTH:	1.2	2
1. TREE REQUIREMENTS:		
DNE TREE/1500 ± 1' OF STREET YARD		
HARVARD STREET:	240.0 S.F.	
E. 16 TH STREET:	130.0 S.F.	
TOTAL:	370.0 S.F.	
STREET YARD AREA: 370.8 X 5' = 1854.5 S.F.		
1854.5 / 1500 S.F. = 1.2 TREES		
2. SURFACE PARKING AREAS:		
DNE TREE/1/2 PARKING SPACES	4	5
48 / 12 = 4 TREES		
TOTAL TREES REQUIRED:	5.2	7

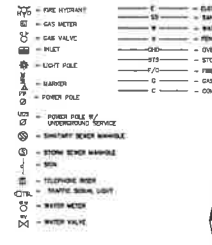
THE LANDSCAPE PLAN IS IN CONFORMANCE WITH THE REQUIREMENTS OF SECTION 1002, OR AN ALTERNATIVE COMPLIANCE PLAN APPROVED BY THE PLANNING COMMISSION.

JOHN OLINDORAK, PE
DATE: _____ LICENSE NO: _____

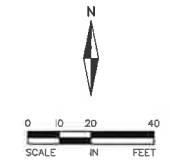
LANDSCAPE LEGEND



SURVEY STANDARD SYMBOLS



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RIB CRIB BBQ RESTAURANT
1801 SOUTH HARVARD AVENUE
TULSA, OKLAHOMA

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of Oklahoma.

DATE	ISSUE
1.30.15	Final Site Plan
1.15.15	Client Review
1.15.15	POB Resubmit Submittal

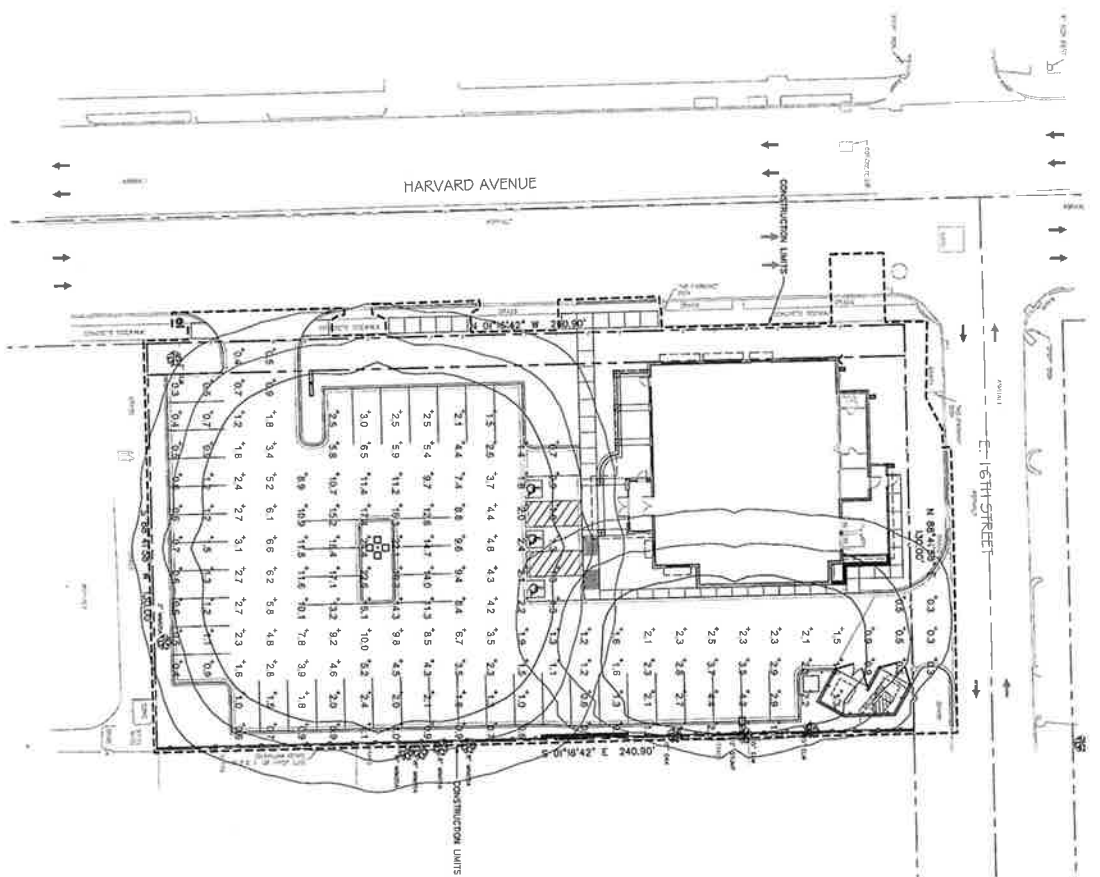
PROJECT TEAM DATA	
DESIGNED:	MMW
DRAWN:	MMW
PROJECT NO:	214-0121

L-1
SHEET 9 of 10

21.814

Plan Prepared by: VILLA LIGHTING
 Designer: Adam Carter
 Date: 6.5.15

These drawings are for conceptual use only and are not
 to be used for construction. They are an
 approximation of the lighting system based on
 photometric data of independent lab tests and data
 supplied by lamp manufacturers.



Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Parking Lot Light Levels	+	4.2 fc	24.4 fc	0.3 fc	81.3:1	14.0:1	0.2:1
Property Line Light Levels	+	0.3 fc	0.7 fc	0.0 fc	N/A	N/A	0.4:1

Luminaire Schedule

Symbol	Label	Qty	Calling Number	Description	Lamp	Number	Wattage	LF	Wattage
P1	P1	1	KGBM-3-LED-SS CY-HSS BK4-BD-AD-6 CLR 432CS-S11-G-24 S27-BD- ABOLTS	Double LS1 XGBM SERIES LED AREA UNIT W/TYPE 3 DISTRIBUTION and HOUSE SIDE SHIELD (LEFT FIXTURE MOUNTING HEIGHT) TO DESIGN FIXTURE HLT	LED	1	13162	0.92	186.8
P2	P2	1	KGBM-4-LED-SS NY-9096Z HPC-ABOLTS	Quad LS1 XGBM SERIES LED AREA UNIT W/TYPE 2 DISTRIBUTION (LEFT FIXTURE MOUNTING HEIGHT)	LED	1	20180	0.92	747.2

FOR REVIEW ONLY
 NOT FOR CONSTRUCTION



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LED AREA LIGHT - XGBM

LED AREA LIGHT - XGBM

PROJECT TEAM DATA

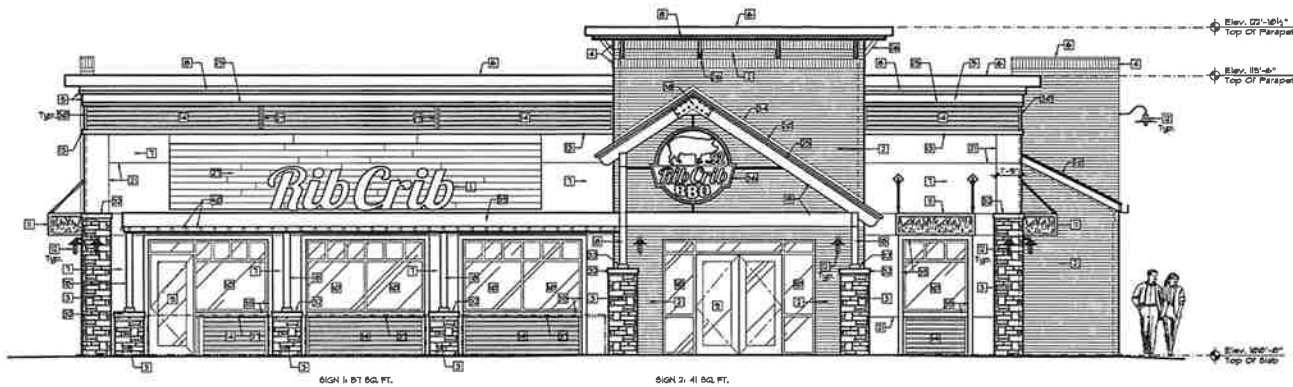
ROLE	NAME	PHONE	EMAIL
OWNER			
ARCHITECT			
ENGINEER			
DATE	ISSUE	BY	DATE
6.5.15	1	AC	6.5.15
6.5.15	2	AC	6.5.15
7.1.15	3	AC	7.1.15

I hereby certify that the data
 prepared by me or under my
 supervision and control, and
 the use of the drawings hereon
 are in accordance with the
 provisions of the State of
 Oklahoma.

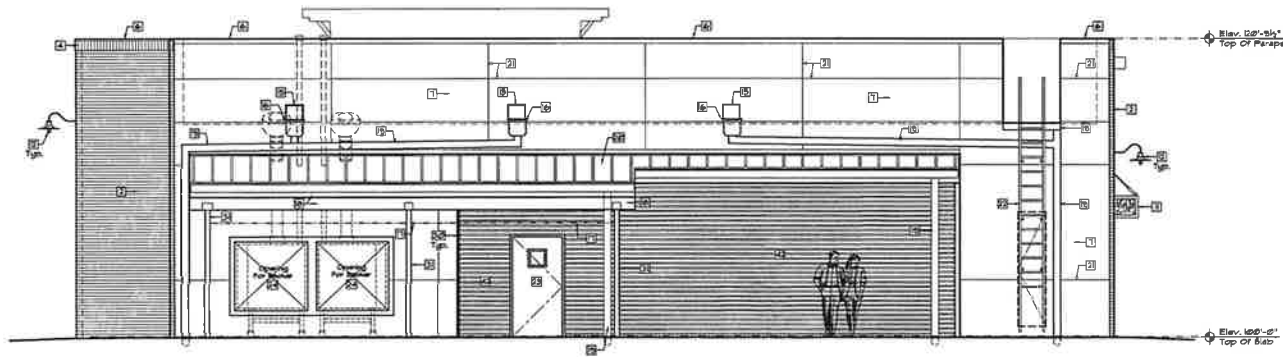
RIB CRIB BBQ RESTAURANT
 1601 SOUTH HARVARD AVENUE
 TULSA, OKLAHOMA

PHOTOMETRIC PLAN

ALLIANT
 2331 Paul Ave. S. Ste 400
 Minneapolis, MN 55415
 612-793-3300
 www.alliant-llc.com



South Elevation
Scale: 1/4" = 1'-0"



North Elevation
Scale: 1/4" = 1'-0"

Keystone Schedule	
Mark	Description
1	New Signage Provided By Owner, Connected Electrically By Contractor, Mount On Top Of Front Trelis Beams.
2	Modular Face Brick, Running Bond, Refr., Ext. Finish Notes.
3	Manufacturer Stone, Refer: Exterior Finish Notes.
4	Brick Soldier Course, Refer: Exterior Finish Notes.
5	EJPA, Concrete Trim, Refer: Sections.
6	Prefinished Metal Coping, Refer: Details 4 Finish Notes.
7	EJPA, On 1 1/2" Rigid Insulation On Sloped Shear Over Ext. Cdn. Sheathing On 2x4 Wood Stud Framing, Refer: Finish Notes. Provide 1 1/2" Rigid Insulation On Back Wall, EJPA, Color #1.
8	Red LED Band, Provided By Owner, Connected Electrically By Contractor, Refer: Electrical For Junction Locations.
9	New Scorefront Glass Door w/Tempered Safety Glazing Refer: Door Schedule.
10	1" Insulated Glass Set In Aluminum Frame, Refer: Specs. Provide Window Pan Flashing Assembly At Sill.
11	New Turnbuckle Latching, Refer: Exterior Finish Notes. Extend 6" Past Window Opening Typical.
12	New Exterior Performance Wall Sconce Light Fixtures, Refer: Light Fixture Schedule. Provide Cantorion Stone Coach Light Trim, Refer: Sections.
13	EJPA, Trim, Refer: Wall Sections.
14	Prefinished HR-16 Metal Panels, Color #1, Refer: Exterior Finish Notes.
15	Overlaid Sconce, Refer: Detail C/A262.
16	Sconce, 1/4"x2x2" Collector Head 4 6"x6" Downpost, Pre-finished Metal, Refer: Finish Notes.
17	Line Of Wood Fencing.
18	Wood Beams, Trim, Posts 4 Rafter, Sashed, Refer: Exterior Finish Notes.
19	Prefinished Metal Gutter 4 Downspout Assembly.
20	Prefinished 1/2" Roof Panels w/ Battens On 24 Roofing Nail On 2x4 Plywood Deck, Refer: Exterior Finish Notes.
21	1" x 1" Reveal In EJPA, Refer: Detail C/A262.
22	Steel Roof Ladder w/Security Panel, Painted, Provide Blocking For Support At Attachment Locations, Refer: Exterior Finish Notes.
23	Invol. Steel Door 4 Frame w/Security Window, Painted, Provide Flashing At Head.
24	Blocker Openings In Exterior Wall - Contractor To Verify Exact Size And Construction.
25	Aster LED Band, Provided By Owner, Connected Electrically By Contractor, Refer: Electrical For Junction Locations.
26	2"x3" Steel Tube Bracket Support Welded To 8"x8"x10" Steel Plate.
27	1x6 Cedar Wood Sills, Install With Smooth Side Facing Out, Apply Paint, Refer: Exterior Finish Notes 4 Details Tris Sheet.
28	Insulated Steel Door 4 Frame, Painted, Provide Flashing At Head.
29	Metal Sliding Vertical Reveal Trim, Refer: Det. D/A262.
30	Metal Sliding Vertical Corner Trim.
31	Steel Column And Saddle Plate, Paint #11.
32	EJPA, Wall Column Cap, EJPA, Color #2, Slope To Drain.
33	2x4 Wood Base Trim, Chaffer Top, Miter Corners.
34	Prefinished Metal Flashing To Match Roofing Panels, Cut-In Flashing Parallel To Roof Line, 4" Wide, Cont.
35	4" x 1" EJPA, Window Trim - EJPA, Color #3.
36	Signage Provided By Owner, Installed By Contractor.
37	2"x2" x 1" Metal Fencing, Refer: Details Sheet C/A2.
38	Steel Plates And Bolts, Paint #11.
39	Prefinished Metal Over Wood Trelis Beams.
40	Continuous Marquee Lights, Refer: Lighting Plans.
41	Provide de-ventilated Flashing At Door Head.
42	Prefinished HR-16 Metal Panels, Color #2, Refer: Exterior Finish Notes.

White Design Group, P.C.
Architectural and Interiors Consulting
9001 EAST 41ST STREET, SUITE 312, TULSA, OKLAHOMA 74133

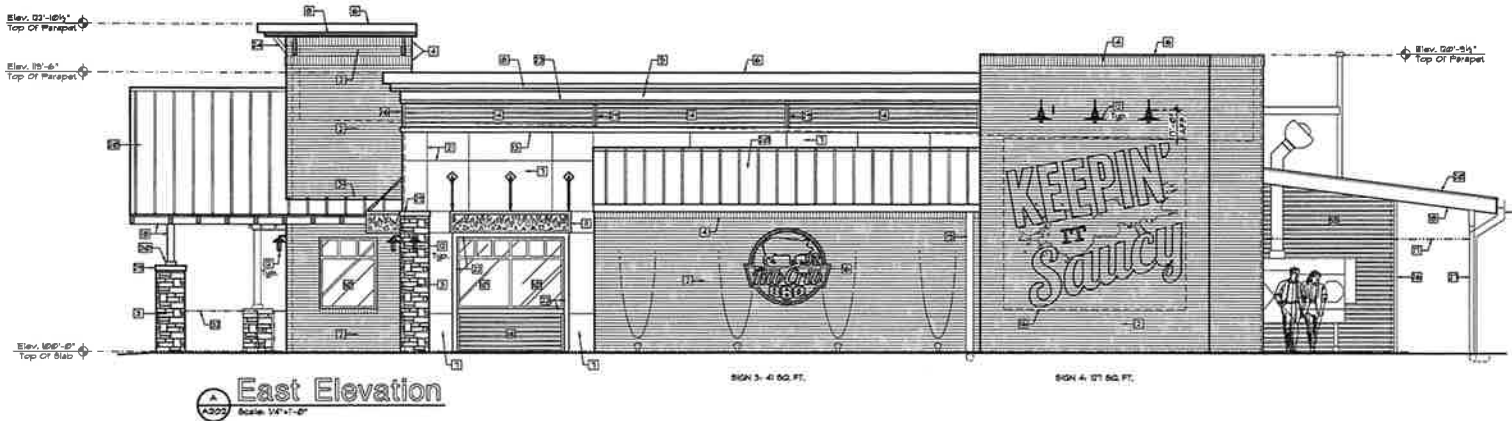
New Restaurant Building For:
Rib Crib Restaurant
Kenosha Street North & N. Main Street
Broken Arrow, Oklahoma

Sheet Content
Building Elevations,
Elevation Details,
Notes

Sheet Number
A201
Date: 08-22-15

Preliminary

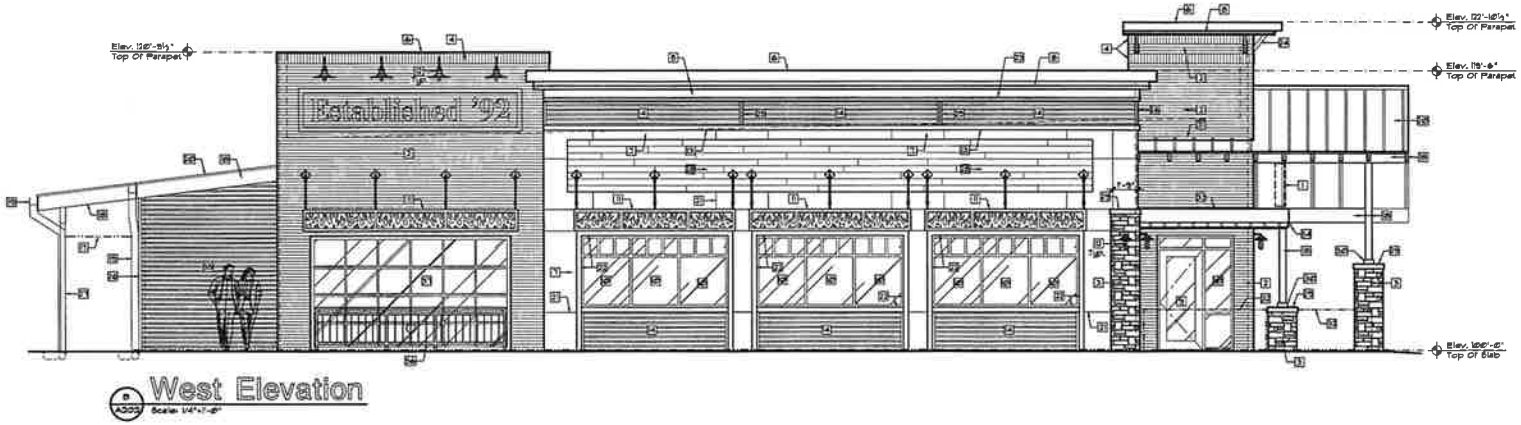
18.17



East Elevation
Scale: 1/4" = 1'-0"

SIGN 3 - 41 50. FT.

SIGN 4 - 17 50. FT.



West Elevation
Scale: 1/4" = 1'-0"

Exterior Finish Notes		
<p>MODULAR FACE BRICK - RUNNING BOND Alpha Redwood Refer: Specifications Mortar: Natural E.T.S. JOINTS: Color #1 - To Match Sherwin Williams RSW 2808 "Rockford Dark Brown", Sandpeltie Texture. Field Color: Dye/Gr. Color #2 - #928 "Tuscan White", Sandblast Texture. Stone Column Caps. Dye/Gr. Color #3 - To Match Sherwin Williams RSW6328 "Timewash", 1/8" E.T.S. Trims Around Window Openings</p> <p>MANUFACTURED STONE Centurion Stone - RUSSE "Buck County" - S1. Provide "Coast Light" Trims RSW 8484 Exterior Lights.</p> <p>PRE-FINISHED METAL COPING CAP BRIDGE* "Matrix Brick" Prefabricated Coping</p> <p>PRE-FINISHED METAL WALL PANELS, COLOR #1 Barringer "TR-10" "Charcoal Gray", 1/8" Wall Letter & Panel Trims. Wall Accent Band</p> <p>PRE-FINISHED METAL WALL PANELS, COLOR #2 Barringer "TR-10" "Charcoal Gray", 1/8" Wall Letter & Panel Trims. Wall, Patio Fence, Refuse Enclosure</p> <p>PRE-FINISHED METAL ROOFING PANELS Barringer "Matrix Brick" Prefabricated Coping "Acrylic Coated Galvalume"</p>	<p>3/8" CEDAR WOOD SLATS 3/8" X 4" OAK BLEND VORR DRY COAT #7-3</p> <p>2 Coats Sherwin Williams Log Home Semi-Transparent Exterior Stain To Match Sherwin Williams Wood Classics Color Sample Cards Color: "Burnished Walnut" RSW 3139 P</p> <p>Medium Stain Color: # 9</p> <p>2 Coats Sherwin Williams Log Home Semi-Transparent Exterior Stain To Match Sherwin Williams Wood Classics Color Sample Cards Color: "Autumn Maple" RSW 3122 P</p> <p>Light Stain Color: # 2</p> <p>2 Coats Sherwin Williams Log Home Semi-Transparent Exterior Stain To Match Sherwin Williams Wood Classics Color Sample Cards Color: "Maple Sugar" RSW 3131 P</p> <p>TURBUCKLE AWNING BRIDGE* "Matrix Brick" Roofing Cap Sherwin Williams R258 - "Tucson Black", Semi-Gloss Steel Tube Framing & Custom Metal Panels</p> <p>WOOD BEAMS, TRIM, POSTS AND RAFTERS 2 Coats Sherwin Williams Log Home Semi-Transparent Exterior Stain To Match Sherwin Williams Wood Classics Color Sample Cards Sherwin Williams - RSW 3201 "Redwood" - #120</p> <p>PRE-FINISHED METAL GUTTER & DOWNSPOUT SYSTEM Barringer - "Matrix Brick"</p>	<p>STEEL ROOF LADDER Sherwin Williams R258 - "Tucson Black", Semi-Gloss</p> <p>ALUMINUM STORMFRONT SYSTEM COLOR: BRICK</p> <p>STONE FRONT DOORS COLOR: BRICK</p> <p>HOLLOW METAL DOORS Sherwin Williams R258 "Fireweaver", Semi-Gloss Sherwin Williams R258 "Fireweaver", Semi-Gloss</p> <p>BEAR COVERED PATIO - STEEL POSTS & DOOR Sherwin Williams R258 "Fireweaver", Semi-Gloss</p> <p>BEAR COVERED PATIO - STEEL BEAM MESH Barringer "TR-10" "Charcoal Gray", 1/8" Wall Letter & Panel Trims Mesh With "Matrix Brick" Prefabricated Coping Welded Mesh REFUSE ENCLOSURE - STEEL POSTS Sherwin Williams R258 - "Fireweaver", Semi-Gloss REFUSE ENCLOSURE - PRE-FINISHED METAL PANELS Barringer "TR-10" "Charcoal Gray", 1/8" Wall Letter & Panel Trims</p>

Keystone Schedule	
Mark	Description
1	New Backlit Signage Provided By Owner, Connected Electrically By Contractor.
2	Modular Face Brick, Running Bond. Refer: Finish Notes.
3	Manufactured Stone. Refer: Exterior Finish Notes.
4	Brick Bolster Course Accent. Color. Refer: Finish Notes.
5	EJPA Cornice Trim. Refer: Sections.
6	Pre-finished Metal Coping. Refer: Details 4 Finish Notes.
7	EJPA On 1/2" Rigid Insulation On Stucco Strap Over Ext. Opp. Sheathing On 2x6 Wood Stud Framing. Refer: Finish Notes. Provide 1/2" Rigid Insulation On Back Wall. EJPA Color #.
8	Red LED Band, Provided By Owner, Connected Electrically By Contractor. Refer: Electrical For Junction Locations.
9	New Stormfront Glass Door W/Tempered Safety Glazing. Refer: Door Schedule.
10	1" Insulated Glass Set In Aluminum Frame. Refer: Space. Provide Window Film Retaining Assembly At 6ft.
11	New Turbuclue Awning. Refer: Exterior Finish Notes. Extend 8" Past Window Opening. Typical.
12	New Exterior Performance Wall Sounce Light Fixture. Refer: Light Fixture Schedule. Provide Cantorion Stone "Coast Light" Trim #808 Backing For Attachment.
13	EJPA Trim Cap. Refer: Wall Sections.
14	Pre-finished RR-16 Metal Panels. Color #. Refer: Exterior Finish Notes.
15	New Awning Light. Refer: Light Fixture Schedule.
16	Pre-finished Or Applied Signage Provided & Installed By Signage Contractor.
17	Line Of Wood Fencing
18	Wood Beams, Trim, Posts & Rafters. Stained. Refer: Exterior Finish Notes.
19	Pre-finished Metal Gutter 4 Downspout Assembly.
20	Pre-finished Mtl. Roof Panels W/ Battens On 2x6 Roofing Felt On 8/8" Plywood Deck. Refer: Exterior Finish Notes.
21	1" x 1" Reveal In EJPA. Refer: Detail C/A201
22	4" x 1" EJPA Window Trim. - EJPA Color #.
23	Anchor LED Band, Provided By Owner, Connected Electrically By Contractor. Refer: Electrical For Junction Locations.
24	2x3" Steel Tube Bracket Support Welded To 2x6/4x2" Bezel Plate.
25	Metal Sliding Vertical Reveal Trim. Refer: Det. D/A202.
26	Metal Sliding Vertical Corner Trim.
27	Bezel Column And Bezel Plate. Refer: #1-FL
28	1x6 Cedar Wood Bezel. Install With Smooth Side Facing Out. Apply Stain. Refer: Exterior Finish Notes & Details The Sheet.
29	EJPA Wall Column Cap. EJPA Color #.
30	2x4 Wood Base Trim, Corner Top, Plur. Corners.
31	Pre-finished Metal Flashing To Match Roofing Panels.
32	3'-0" H. Bezel Fencing. Refer: Details Sheet C/A20.
33	Pre-finished Metal Cover Wood Truss Beams.
34	Continuous Marquise Light. Refer: Lighting Plans.
35	Pre-finished RR-16 Metal Panels. Color #. Refer: Exterior Finish Notes.
36	Custom Bezel Railing W/ 1" Dia. Stainless Steel Cap On 1/2" Dia. Housing Studs. Refer: Details The Sheet.
37	New Overhead Door With Wood Casing Trim At Opening. Refer: Door Schedule.

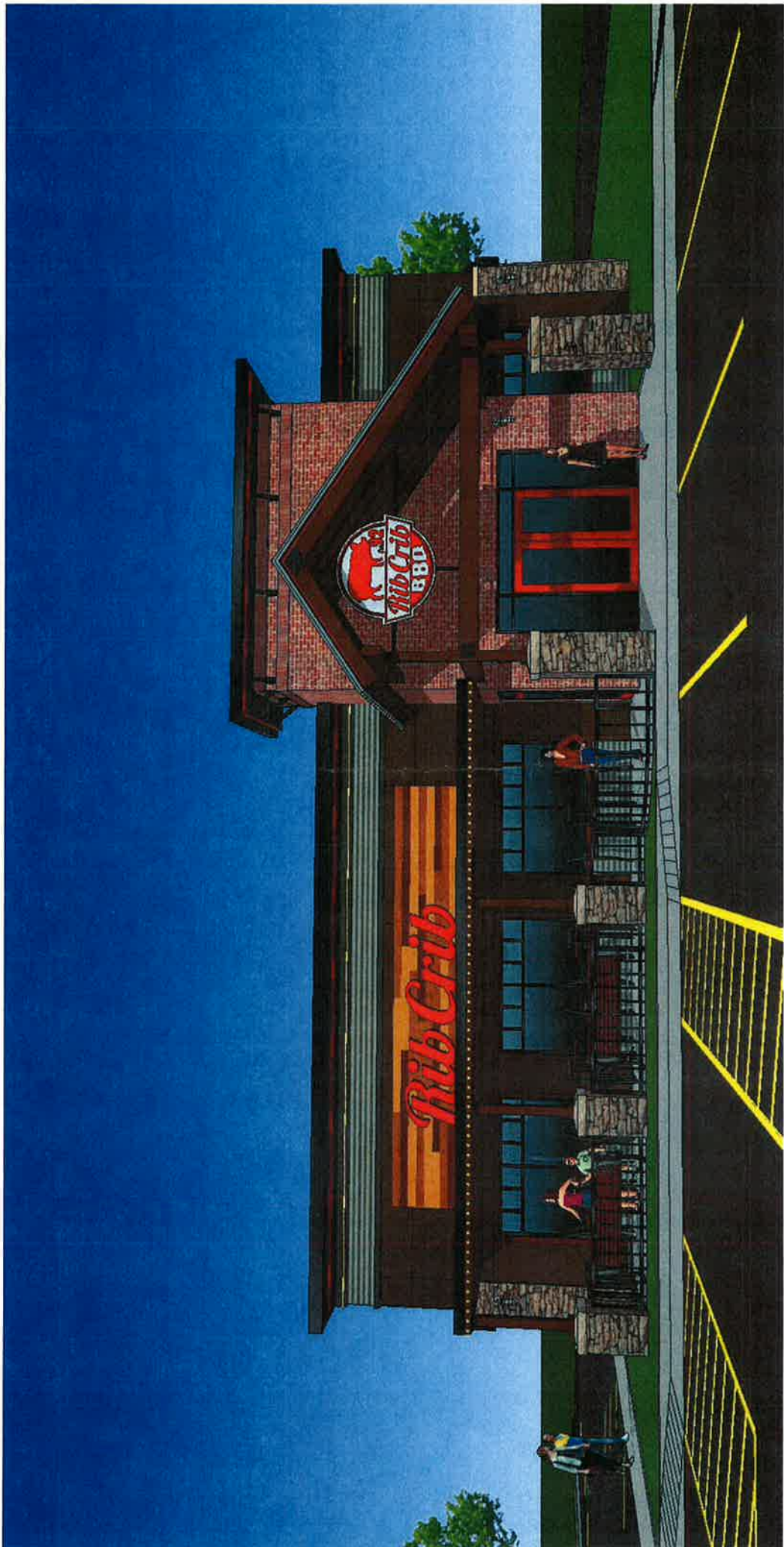
White Design Group, P.C.
 Architectural and Interiors Consulting
 5901 EAST 41ST STREET, SUITE 712, TULSA, OKLAHOMA 74133
 Oklahoma
 New Restaurant Building For:
Rib Crib Restaurant
 1601 South Harvard Avenue
 Tulsa, Oklahoma

Sheet Content
 Building Elevations,
 Exterior Finish Notes,
 Detail Notes

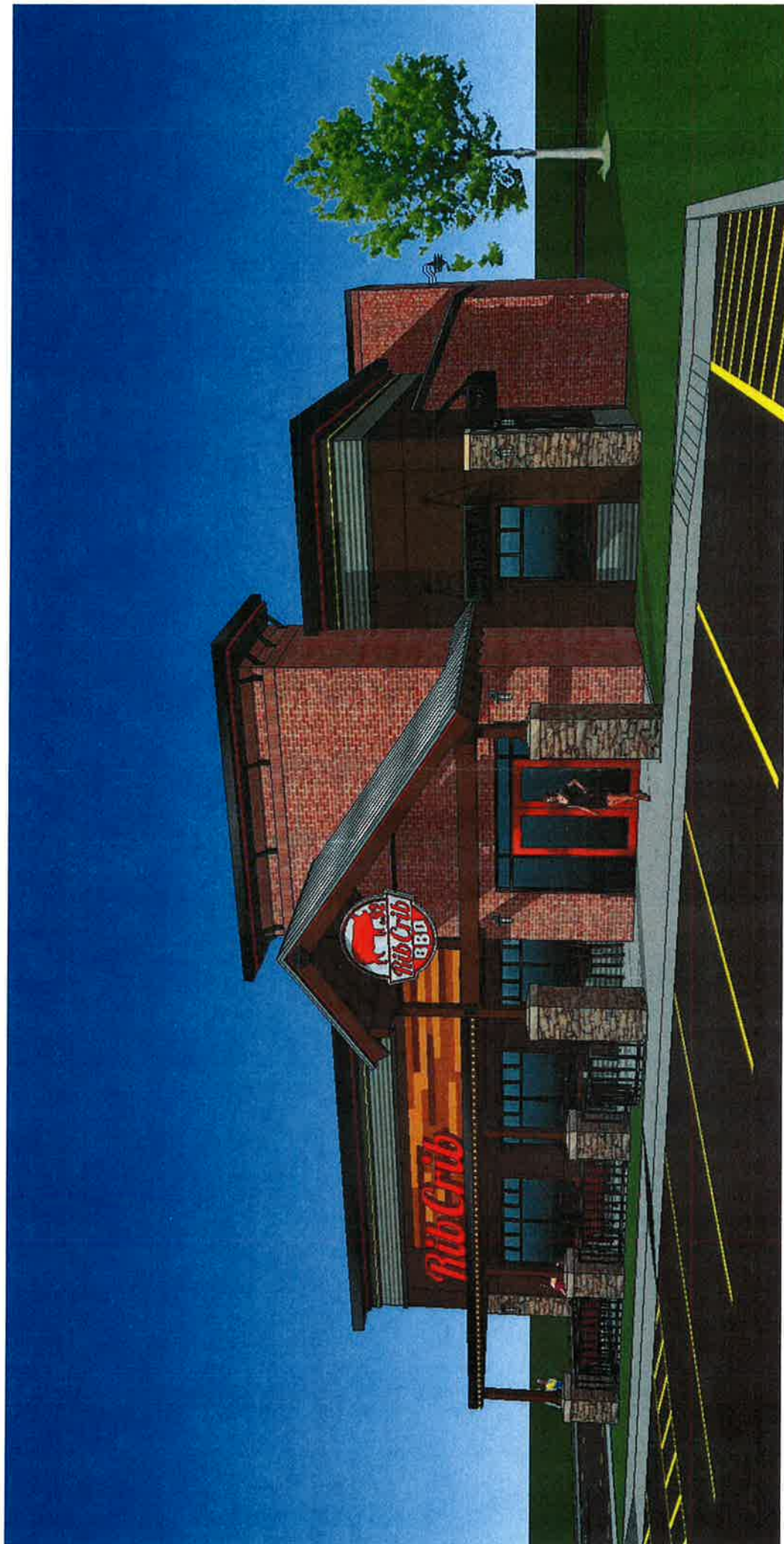
Sheet Number
A202
 Date: 08-22-25

Preliminary

R.18



18.19



18.20



Tulsa Metropolitan Area
Planning Commission

Case Number: CZ-442

(Related to PUD 839)

Hearing Date: August 19, 2015

Case Report Prepared by:

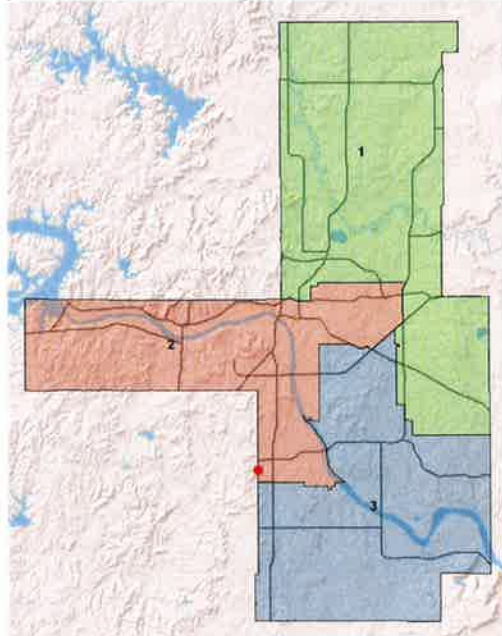
Dwayne Wilkerson

Owner and Applicant Information:

Applicant: Tanner Consulting, LLC/ Jessica Shelton

Property Owner: Jenks Land, LLC

Location Map:
(shown with City Council Districts)



Applicant Proposal:

Present Use: Vacant

Proposed Use: Single-family residential

Concept summary: Rezoning request for single family residential subdivision.

Tract Size: 5.097 ± acres

222,010 ± sq. ft

Location: South of Southeast corner of W. 111th St. and S. 33rd West Avenue

Zoning:

Existing Zoning: AG

Proposed Zoning: RE

Comprehensive Plan:

City of Jenks Comprehensive Plan:

Low Intensity Development

Staff Recommendation:

Staff recommends approval.

Staff Data:

TRS: 8234

CZM: 55

Atlas: 0

County Commission District: 2

Commissioner Name: Karen Keith

19.1

SECTION I: CZ-442

DEVELOPMENT CONCEPT:

This project will be developed with a Planned Unit Development Overlay and will be known as "Meadow Creek". The site is comprised of 5.097 acres located south of the southeast corner at 111th and South 33rd West Avenue - hereinafter referred to as the "development". The site is located in Tulsa County zoning and platting jurisdiction and within the City of Jenks fence line. The City of Jenks has been consulted in regards to the proposed development and at the time of writing has no interest in annexing the subject tract. The development proposes a large lot rural subdivision which will be accessed with public streets and utilize bar ditch drainage.

This document proposes a dwelling option for home buyers with lots that are slightly larger than one-half acre located in the Jenks school district. The property has excellent access to nearby commercial shopping and restaurants as well as quick access to downtown Tulsa via U.S. Highway 75. This project proposes a maximum of 10 detached single-family lots. Anticipated lot sizes are less than the 150 foot width required with straight RE zoning. The anticipated average lot width will be 125 feet in wide. The PUD has been prepared meeting the lot area requirements of RE zoning however the dimensional character of the site restricts the lot width requirements of an RE subdivision.

Due to the lack of sanitary sewer, the property will utilize individual aerobic sewage systems approved by the Oklahoma Department of Environmental Quality.

Meadow Creek is designated as "Low Intensity, No Specific Land Use" by the Jenks Comprehensive Plan. The requested RE (Residential Estate) zoning is in accordance with the Plan Map.

Access to the development will be located off of South 33rd West Avenue and shall be a cul-de-sac designed in accordance with the Tulsa City/County Subdivision Regulations and approved by the City of Jenks Fire Marshal.

After review of the stated purposes of the Planned Unit Development in Chapter 11 of the Tulsa County Zoning Code, Meadow Creek meets those stated purposes including "...maintaining appropriate limitation on the character and intensity of use and assuring compatibility with adjoining and proximate properties."

EXHIBITS:

- INCOG Case map
- INCOG Aerial (small scale)
- INCOG Aerial (large scale)
- Applicant Exhibits:
 - Refer to PUD 837 exhibits

DETAILED STAFF RECOMMENDATION:

19.2

CZ-422 in conjunction with PUD 839 is consistent with the Comprehensive Plan of the City of Jenks. Tulsa County does not have a comprehensive plan for this area; and

The development standards defined in straight zoning or the PUD are harmonious with the existing and expected development of surrounding areas; and

RE zoning would be supported by staff without a PUD however the developer has asked for greater flexibility in the proposed lot configuration within the PUD; therefore

Staff recommends Approval of CZ-442 to rezone property from AG/ to RE. Staff also supports RE zoning without the PUD overlay.

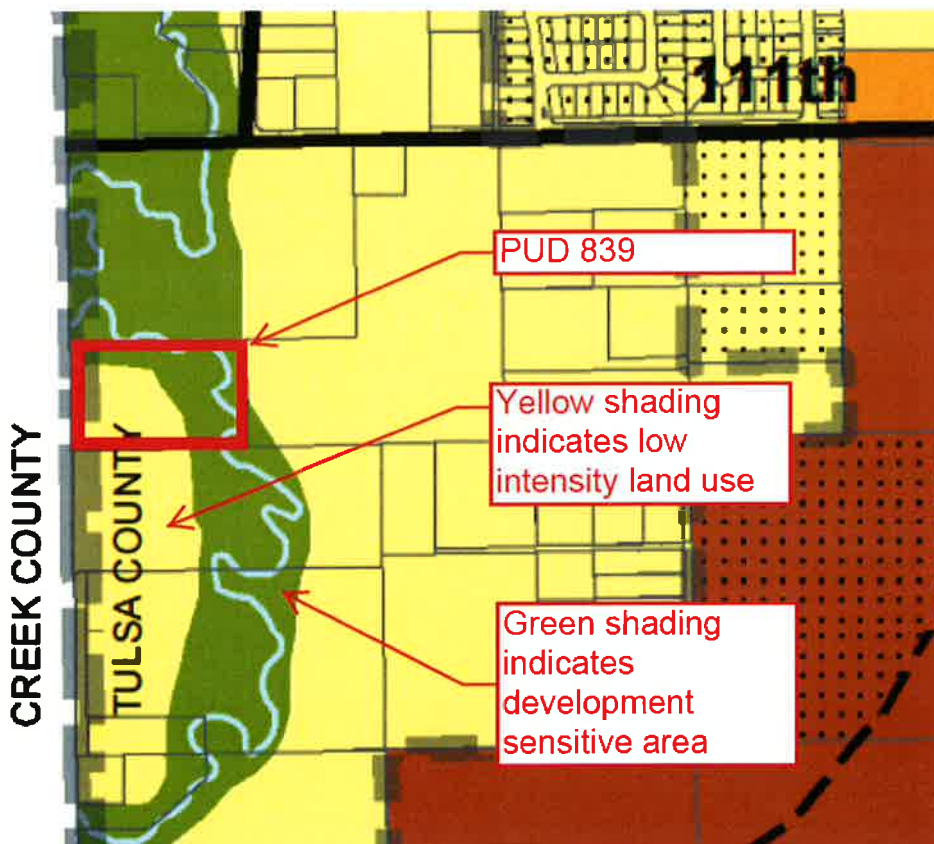
SECTION II: Supporting Documentation

RELATIONSHIP TO THE COMPREHENSIVE PLAN:

Staff Summary: This area is outside the City of Tulsa Comprehensive Plan area however the Jenks Comprehensive Plan 2006-2015 illustrates this area as Development Sensitive and Low intensity. The comprehensive plan does not recognize a land use potential however residential uses are a low intensity use. The floodplain east of the site is in a development sensitive area and not likely to see significant development in the future.

City of Jenks Land Use Vision:

CITY OF JENKS COMPREHENSIVE PLAN LAND USE MAP



19.3

Transportation Vision:

Major Street and Highway Plan: None

Trail System Master Plan Considerations: None

Small Area Plan: None

Special District Considerations: None

Historic Preservation Overlay: None

DESCRIPTION OF EXISTING CONDITIONS:

Staff Summary: The floodplain north and east of the site is considered development sensitive in the City of Jenks. Future development will not cross the floodplain in the foreseeable future. Potential development will be limited to the yellow shaded areas close to the South 33rd Street right of way near the western border of Tulsa County. There are no known existing conditions other than the floodplain that will prohibit future development.

Environmental Considerations:

A portion of the tract is located within an area designated by FEMA to be in floodplain zone "AE". Building pad sites will be designed in such a way that will allow the homebuilder to construct the finished floor elevation above the floodplain elevation.

A USDA soils report indicates that the tract is composed predominately of "Dennis-Radley complex, 0 to 12 percent slopes", "Wynonna silty clay loam, 0 to 1 percent, occasionally flooded. A geotechnical report will be prepared prior to construction and used in the design of streets and infrastructure or the Tulsa County "Typical Section" for Sub-Division Streets will be utilized.

Streets:

<u>Exist. Access</u>	<u>MSHP Design</u>	<u>MSHP RW</u>	<u>Exist. # Lanes</u>
South 33 rd West Avenue	Secondary Arterial	100 feet	2

Drainage and Utilities:

The subject tract contains gently rolling terrain with floodplain located on the north and east portions of the development. Storm water runoff will be designed and approved by Tulsa County prior to the filing of the subdivision plat.

Creek Rural Water District #2 serves the property with water service and currently there is no sanitary sewer service in the area. Each lot will utilize aerobic systems for wastewater disposal. Other private utilities are available to the subject tract.

19.4

Surrounding Properties: The subject tract is surrounded by Agriculturally Zoned property on all sides except near the northwestern corner of the site in Creek County where a parcel has been rezoned to RMH-1 accommodating mobile homes.

SECTION III: Relevant Zoning History

ZONING ORDINANCE: Resolution number 98254 dated September 15, 1980, established zoning for the subject property.

Subject Property:

No relevant history.

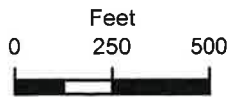
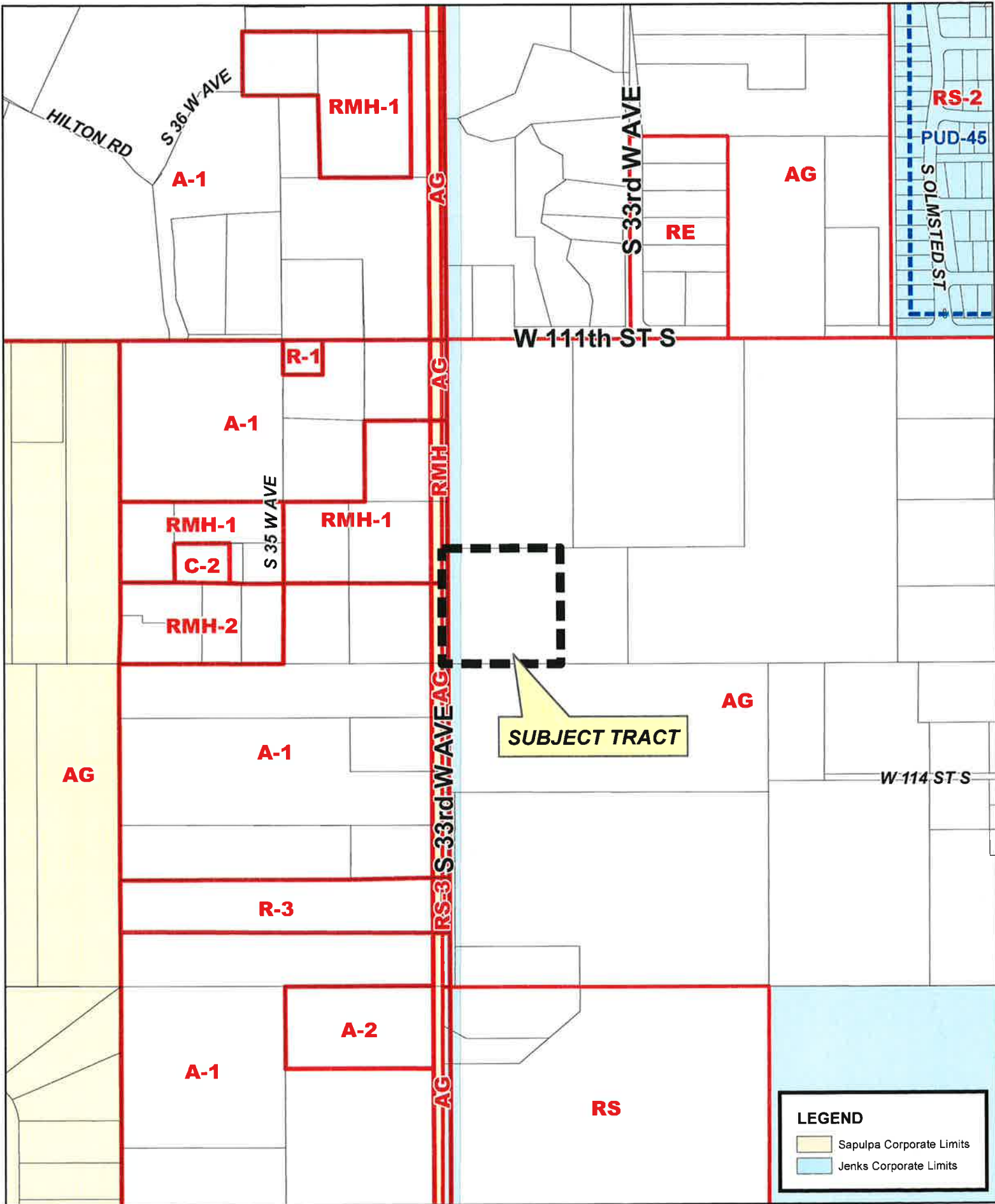
Surrounding Property:

CZ-427 September 2013: All concurred in approval of a request for rezoning a 1± acre tract of land from AG to RS for residential use, on property located north of the northwest corner of S. 33rd W. Ave. and W. 121st St.

CBOA-2529 March 17, 2015: The Board of Adjustment **approved** a *Special Exception* to permit wedding and events in the AG District, with conditions: that the business will close at midnight and will have a five year time limit, March 2020; there is to be an all-weather parking surface required; the events at the business will be as presented to the Board, i.e., family reunions, corporate parties, outdoor weddings; and the signage allowed is to be no larger than 4'-0" x 8'-0"; on property located at 2926 W. 111th St. S.

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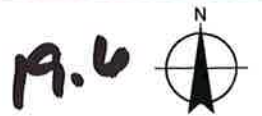
19.5



CZ-442

18-12 34

LEGEND	
	Sapulpa Corporate Limits
	Jenks Corporate Limits





HILTON RD

S 36 W AVE

S 33rd W AVE

S UNSTEAD ST

W 111th ST S

S 35 W AVE

S 33rd W AVE

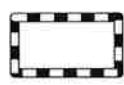
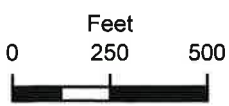
W 114 ST S

CZ-442

18-12 34

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: March 2014



Subject Tract



19.7



Tulsa Metropolitan Area
Planning Commission

Case Number: PUD-839

Hearing Date: August 19, 2015

Case Report Prepared by:

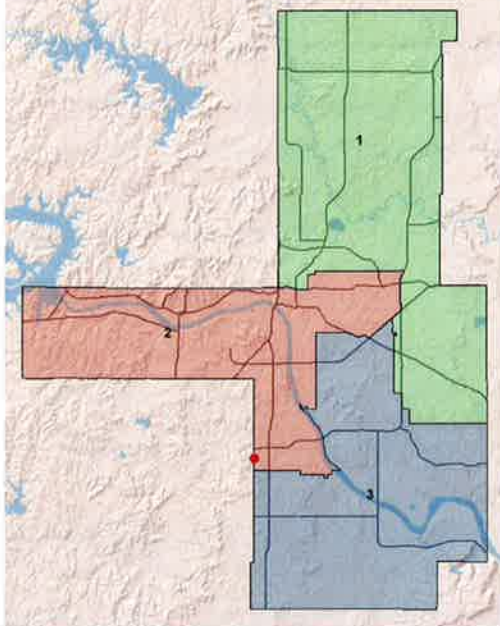
Dwayne Wilkerson

Owner and Applicant Information:

Applicant: Jessica Shelton

Property Owner: Jenks Land, LLC

Location Map:
(shown with City Council Districts)



Applicant Proposal:

Present Use: Vacant

Proposed Use: Single-family residential

Concept summary: Develop a tract with public streets and but provide flexibility with parcel width, front yard coverage for parking and other standards supporting a large lot rural style subdivision.

Tract Size: 5.097 ± acres
222,010 ± sq. ft

Location: South of Southeast corner of W. 111th St.
and S. 33rd West Avenue

Zoning:

Existing Zoning: AG

Proposed Zoning: RE/ PUD-839

Comprehensive Plan:

City of Jenks Comprehensive Plan:

Low Intensity Development

Staff Recommendation:

Staff recommends approval.

Staff Data:

TRS: 8234

CZM: 55

Atlas: None

County Commission District: 2

Commissioner Name: Karen Keith

20.1

SECTION I: PUD-839

APPLICANTS DEVELOPMENT CONCEPT:

The proposed Planned Unit Development (No.839) to be known as "Meadow Creek" is comprised of 5.097 acres located south of the southeast corner at 111th and South 33rd West Avenue - hereinafter referred to as the "development". The site is located in Tulsa County zoning and platting jurisdiction and within the City of Jenks fence line. The City of Jenks has been consulted in regards to the proposed development and at the time of writing has no interest in annexing the subject tract. The development proposes a large lot rural subdivision which will be accessed with public streets and utilize bar ditch drainage.

This document proposes a dwelling option for home buyers with lots that are slightly larger than one-half acre located in the Jenks school district. The property has excellent access to nearby commercial shopping and restaurants as well as quick access to downtown Tulsa via U.S. Highway 75. This project proposes a maximum of 10 detached single-family lots. Anticipated lot sizes are less than the 150 foot width required with straight RE zoning. The anticipated average lot width will be 125 feet in wide. The PUD has been prepared meeting the lot area requirements of RE zoning however the dimensional character of the site restricts the lot width requirements of an RE subdivision.

Due to the lack of sanitary sewer, the property will utilize individual aerobic sewage systems approved by the Oklahoma Department of Environmental Quality.

Meadow Creek is designated as "Low Intensity, No Specific Land Use" by the Jenks Comprehensive Plan. The requested RE (Residential Estate) zoning is in accordance with the Plan Map.

Access to the development will be located off of South 33rd West Avenue and shall be a cul-de-sac designed in accordance with the Tulsa City/County Subdivision Regulations and approved by the City of Jenks Fire Marshal.

After review of the stated purposes of the Planned Unit Development in Chapter 11 of the Tulsa County Zoning Code, Meadow Creek meets those stated purposes including "...maintaining appropriate limitation on the character and intensity of use and assuring compatibility with adjoining and proximate properties."

EXHIBITS:

- INCOG Case map
- INCOG Aerial (small scale)
- INCOG Aerial (large scale)
- Tulsa Comprehensive Plan Land Use Map
- Tulsa Comprehensive Plan Areas of Stability and Growth Map
- Applicant Exhibits:
 - Exhibit C: Conceptual Utility Plan
 - Exhibit D: Environmental Analysis

- Exhibit E: Existing Zoning Map
- Exhibit F: Proposed Zoning Map
- Exhibit G: Comprehensive Plan Map
- Exhibit H: Gross Boundary Legal Description

SECTION II: PUD-839 DEVELOPMENT STANDARDS

Gross Land Area:	222,010 SF	5.097 AC
Net Land Area:	214,399 SF	4.922 AC
Permitted Uses: Uses permitted as a matter of right in RE, zoning district in the Tulsa County Zoning Code, including landscaped features and recreational facilities.		
Maximum Number of Lots:	8 lots	
Minimum Lot Width: *	95 FT	
Minimum Lot Size:	21,780 sq.ft.	
Minimum Livability Space Required (per lot):	12,000 sq.ft.	
Minimum Building Setbacks		
Front yard:	25 FT	
Minimum Side Yard: ***	5 ft. & 5 FT	
Side yard abutting a street: ****	15 FT	
Rear Yard:	20 FT	
Maximum Building Height: *****	35 FT	
Maximum Front Yard Coverage by Parking:	40 %	
Off Street Parking:	Minimum two (2) enclosed off-street parking spaces per dwelling unit.	
Signage:	One (1) along S. 33 rd W. Ave. street frontage, not to exceed 32 square feet each in size.	

- * Measured as the lot width at the building line, except on pie shaped lots which shall have a minimum average lot width of 50 feet.
- ** Provided that a minimum of 10 ft. is maintained between dwelling structures, excluding overhangs. Provided that no side yard shall be less than the width of any utility easement located within the lot along a side lot line.
- *** Garages which access this street shall be setback a minimum of 20 feet.
- **** Architectural features may extend a maximum of five (10) feet above the maximum permitted building height.

Landscape and Screening

Interior fencing or walls shall not extend beyond that point nearest the street at each end corner of the residence. Fences shall be a wood privacy, ornamental iron or stockade with black chain link. No barbed wire, meshed or other metal fencing is allowed. No

20.3

fence over six feet (6') tall is permitted unless approved by the architectural committee. Fences located on exterior sides of corner lots shall not extend beyond half way between the building line and property lines.

Fencing along South 33rd West Avenue will be decorative in nature and consistent with a rural single-family subdivision.

Accessory Uses and Conditions

Detached accessory buildings shall be permitted and not exceed one thousand (1,000 S.F.) square feet in size. Detached accessory buildings shall be located in the rear yard and a minimum of 17.5' from any property line. Additional restrictions may be imposed for detached accessory buildings and further defined within the private deed restrictions prepared and filed of record with the Tulsa County Clerk by separate instrument.

Access and Circulation

Due to the shape of the subject tract and existing floodplain east of the site, one access point from South 33rd West Avenue will serve the development. In accordance with the Tulsa City/County Subdivision Regulations, the cul-de-sac, which is greater than 250 feet in length, will have a turn-around of not less than forty (40') feet of paving and a radius of fifty-two (52') feet at the property line.

The public street will utilize "bar ditch" drainage as permitted by Tulsa County. The developer will work with the City of Jenks Fire Department to insure that proper emergency vehicle access can be maintained at all times.

Due to the curve in South 33rd West Avenue, the paving is not located on the section line. The developer will dedicate 50' of right-of-way and has coordinated with Creek County regarding the dedication of additional street right of way on the west side of the Tulsa County line.

Pedestrian Access

Tulsa County Subdivision regulations and engineering standards will apply to sidewalk construction standards in Tulsa County.

Detailed Site Plan Review

The subdivision plat filed with the Tulsa County Clerk's office shall serve as the PUD Detail Site as required by the Tulsa County Zoning Code.

Subdivision Plat Requirement

In accordance with Section 260 of the Tulsa County Zoning Code, no building permit or occupancy permit shall be issued until a subdivision plat or plat waiver has been approved by the TMAPC.

20.9

Expected Schedule of Development

Development of the project is expected to commence and be completed as market conditions permit.

DETAILED STAFF RECOMMENDATION:

PUD 839 is consistent with the Comprehensive Plan of the City of Jenks. Tulsa County does not have a comprehensive plan for this area; and

The development standards defined in Section II above are harmonious with the existing and expected development of surrounding areas; and

PUD 839 provides a unified treatment of the development possibilities of the project site; and

The PUD is consistent with the stated purposes and standards of the PUD Chapter of the Tulsa County Zoning Code: therefore

Staff recommends Approval of PUD-839 as outlined in Section II above.

SECTION III: Supporting Documentation

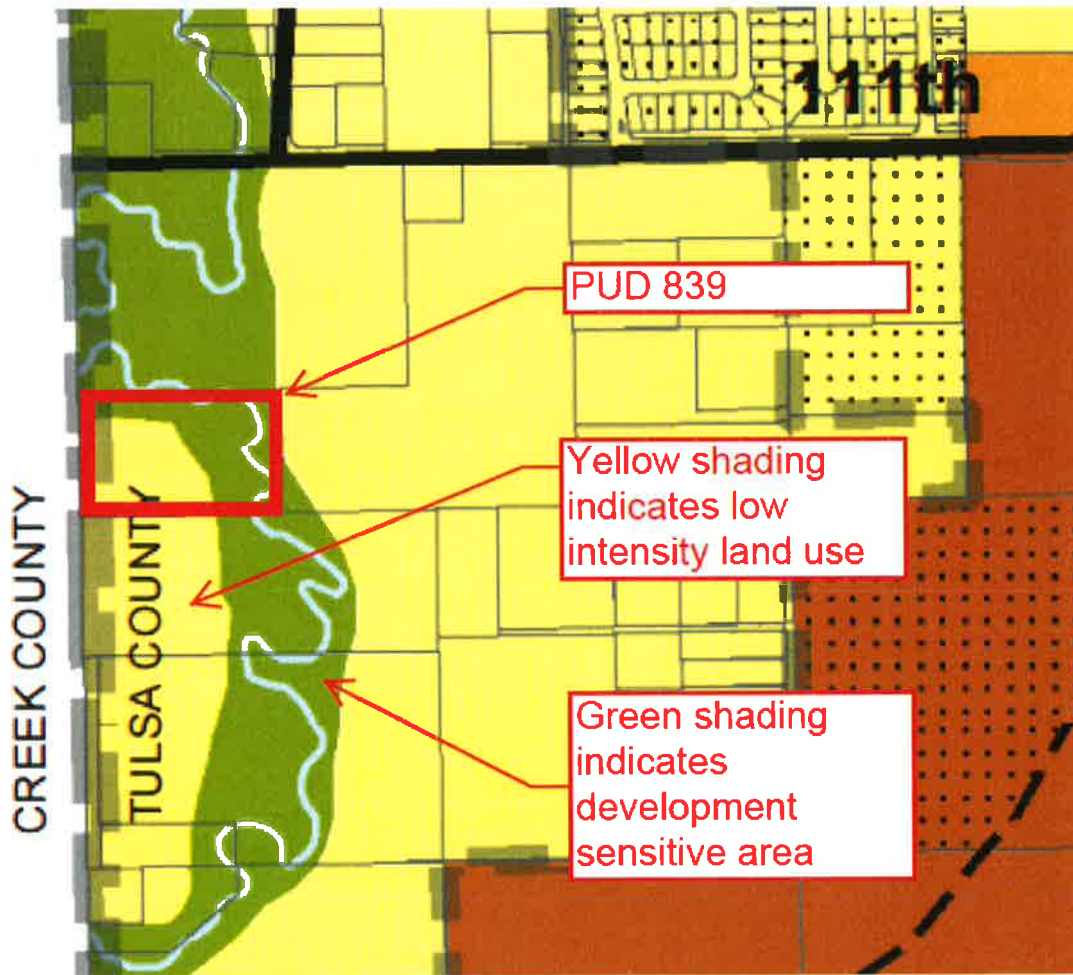
RELATIONSHIP TO THE COMPREHENSIVE PLAN:

Staff Summary: This area is outside the City of Tulsa Comprehensive Plan area however the Jenks Comprehensive Plan 2006-2015 illustrates this area as Development Sensitive and Low intensity. The comprehensive plan does not recognize a land use potential however residential uses are a low intensity use. The floodplain east of the site is in a development sensitive area and not likely to see significant development in the future.

City of Jenks Land Use Vision:

20.5

CITY OF JENKS COMPREHENSIVE PLAN LAND USE MAP



Transportation Vision:

Major Street and Highway Plan: None

Trail System Master Plan Considerations: None

Small Area Plan: None

Special District Considerations: None

Historic Preservation Overlay: None

DESCRIPTION OF EXISTING CONDITIONS:

***Staff Summary:** The floodplain north and east of the site is considered development sensitive in the City of Jenks. Future development will not cross the floodplain in the foreseeable future. Potential development will be limited to the yellow shaded areas close to the South 33rd Street*

20.4

right of way near the western border of Tulsa County. There are no known existing conditions other than the floodplain that will prohibit future development.

Environmental Considerations:

A portion of the tract is located within an area designated by FEMA to be in floodplain zone "AE". Building pad sites will be designed in such a way that will allow the homebuilder to construct the finished floor elevation above the floodplain elevation.

A USDA soils report indicates that the tract is composed predominately of "Dennis-Radley complex, 0 to 12 percent slopes", "Wynonna silty clay loam, 0 to 1 percent, occasionally flooded. A geotechnical report will be prepared prior to construction and used in the design of streets and infrastructure or the Tulsa County "Typical Section" for Sub-Division Streets will be utilized.

Streets:

<u>Exist. Access</u>	<u>MSHP Design</u>	<u>MSHP RW</u>	<u>Exist. # Lanes</u>
South 33 rd West Avenue	Secondary Arterial	100 feet	2

Drainage and Utilities:

The subject tract contains gently rolling terrain with floodplain located on the north and east portions of the development. Storm water runoff will be designed and approved by Tulsa County prior to the filing of the subdivision plat.

Creek Rural Water District #2 serves the property with water service and currently there is no sanitary sewer service in the area. Each lot will utilize aerobic systems for wastewater disposal. Other private utilities are available to the subject tract.

Surrounding Properties: The subject tract is surrounded by Agriculturally Zoned property on all sides except near the northwestern corner of the site in Creek County where a parcel has been rezoned to RMH-1 accommodating mobile homes.

SECTION IV: Relevant Zoning History

ZONING ORDINANCE: Resolution number 98254 dated September 15, 1980, established zoning for the subject property.

Subject Property:

No relevant history.

Surrounding Property:

CZ-427 September 2013: All concurred in approval of a request for rezoning a 1± acre tract of land from AG to RS for residential use, on property located north of the northwest corner of S. 33rd W. Ave. and W. 121st St.

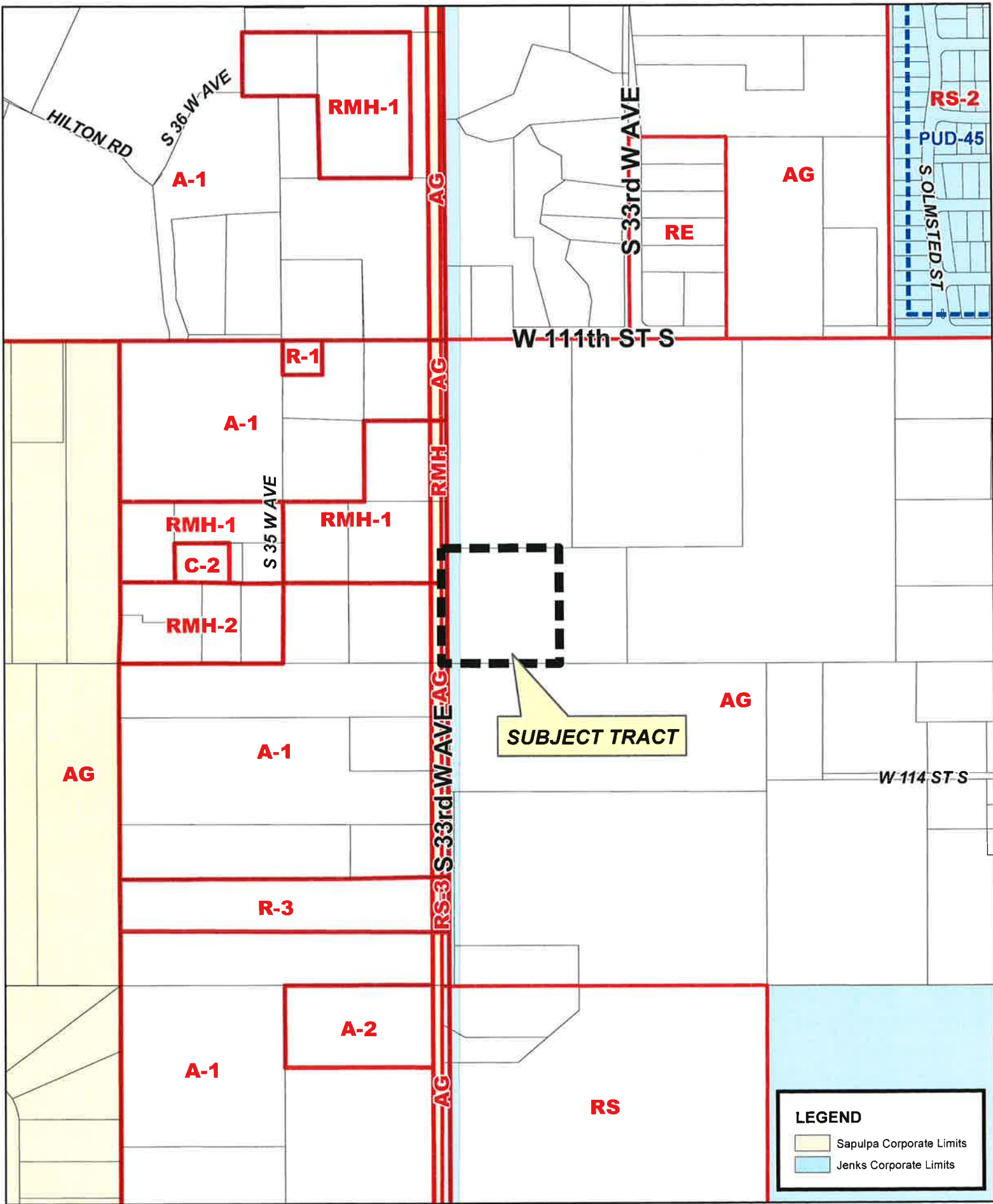
20.7

CBOA-2529 March 17, 2015: The Board of Adjustment **approved** a *Special Exception* to permit wedding and events in the AG District, with conditions: that the business will close at midnight and will have a five year time limit, March 2020; there is to be an all-weather parking surface required; the events at the business will be as presented to the Board, i.e., family reunions, corporate parties, outdoor weddings; and the signage allowed is to be no larger than 4'-0" x 8'-0"; on property located at 2926 W. 111th St. S.

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REVISED 8/13/2015



PUD-839

18-12 34

LEGEND	
	Sapulpa Corporate Limits
	Jenks Corporate Limits





Subject Tract

PUD-839

18-12 34

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: March 2010



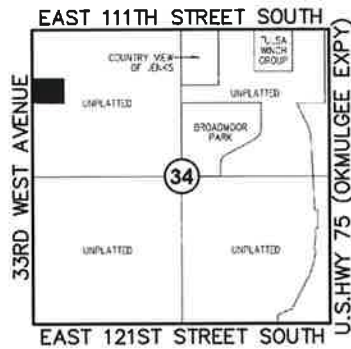
PUD # 839

Meadow Creek

5.097 ACRES (GROSS)
SOUTH OF THE SOUTHEAST CORNER OF
111TH STREET & 33RD WEST AVENUE
TULSA COUNTY, OKLAHOMA



R 12 E



Location Map

Scale: 1"= 2000'



Draft: JULY 09, 2015
Revised: JULY 17, 2015

APPLICANT / OWNER:
JENKS LAND, LLC.
c/o MIKE WALLACE
114 SOUTH 3RD STREET
JENKS, OK 74037
MIKETULSA@AOL.COM

CONSULTANT:
TANNER CONSULTING LLC
c/o RICKY JONES
5323 S LEWIS AVE
TULSA, OK 74105
RICKY@TANNERBAITSHOP.COM

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18
N

20.11

Meadow Creek

EXHIBIT A

AERIAL PHOTOGRAPHY
WITH TRACT BOUNDARY DIMENSIONS IDENTIFIED



Meadow Creek

EXHIBIT B

CONCEPTUAL SITE PLAN
LAYOUT SHOWN AS OF JULY 09, 2015



Meadow Creek

EXHIBIT C

CONCEPTUAL UTILITY PLAN

EXISTING UTILITIES IN PART LOCATED FROM SPRING 2015 FIELD SURVEY



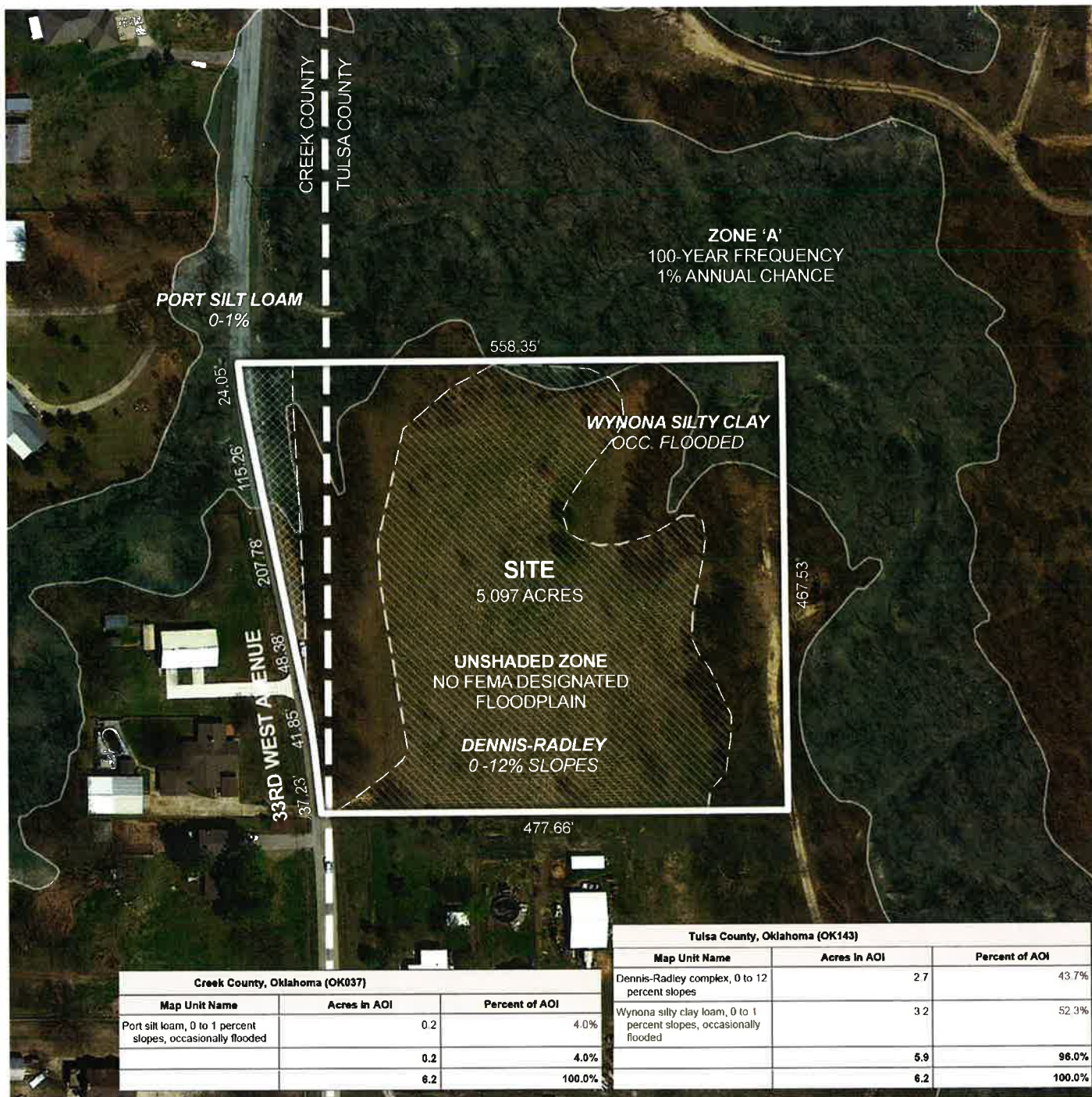
20.14

Meadow Creek

EXHIBIT D

ENVIRONMENTAL ANALYSIS

FEMA FIRM PANEL NO.: 40143C0344L / SOIL DATA FROM USDA WEB SOIL SURVEY



Creek County, Oklahoma (OK037)		
Map Unit Name	Acres in AOI	Percent of AOI
Port silt loam, 0 to 1 percent slopes, occasionally flooded	0.2	4.0%
	0.2	4.0%
	6.2	100.0%

Tulsa County, Oklahoma (OK143)		
Map Unit Name	Acres in AOI	Percent of AOI
Dennis-Radley complex, 0 to 12 percent slopes	2.7	43.7%
Wynona silty clay loam, 0 to 1 percent slopes, occasionally flooded	3.2	52.3%
	5.9	96.0%
	6.2	100.0%

Meadow Creek

EXHIBIT E

EXISTING ZONING MAP

INCOG ZONING GIS DATA, ACC. JULY 07, 2015 / CREEK COUNTY ZONING MAPS, ACC. JULY 07, 2015



20.14

Meadow Creek

EXHIBIT F

PROPOSED ZONING MAP

INCOG ZONING GIS DATA, ACC. JULY 07, 2015 / CREEK COUNTY ZONING MAPS, ACC. JULY 07, 2015



20.17

Meadow Creek

EXHIBIT G

CURRENT COMPREHENSIVE PLAN MAP
DATA FROM THE JENKS COMPREHENSIVE PLAN, EFFECTIVE 2006 - 2015



Meadow Creek

EXHIBIT H

GROSS BOUNDARY DESCRIPTION (TULSA COUNTY)

DESCRIPTION

A TRACT OF LAND IN THE NORTHWEST QUARTER (NW/4) OF SECTION THIRTY-FOUR (34), TOWNSHIP EIGHTEEN (18) NORTH, RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA AND BEING A PORTION OF THAT SAME TRACT OF LAND DESCRIBED BY METES AND BOUNDS IN GENERAL WARRANTY DEED, RECORDED DECEMBER 17, 2014 AS DOCUMENT # 2014113056 AT THE TULSA COUNTY CLERK'S OFFICE AND IS MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT:

COMMENCING AT THE NORTHWEST CORNER OF SAID NW/4, THENCE SOUTH 01°02' 15" EAST ALONG THE WEST LINE THEREOF A DISTANCE OF 854.03 FEET TO THE POINT OF BEGINNING, THENCE NORTH 89°01'38" EAST A DISTANCE OF 475.00 FEET; THENCE SOUTH 01°02'16" EAST A DISTANCE OF 467.53 FEET, THENCE SOUTH 89°03'41" WEST A DISTANCE OF 475.00 FEET TO A POINT ON SAID WEST LINE, THENCE NORTH 01°02'16" WEST ALONG SAID WEST LINE A DISTANCE OF 467.22 FEET TO THE POINT OF BEGINNING.

CONTAINING 222,010 SQUARE FEET OR 5.097 ACRES OF LAND MORE OR LESS.

TMAPC

August 19, 2015

Amendment to Policies and Procedures of TMAPC

Item for discussion: Adopt revised Policies and Procedures of the Tulsa Metropolitan Area Planning Commission, adding section 4.6 Comprehensive Plan and amendment notification process.

Background: In the July 15, 2015, TMAPC Work Session, the Planning Commission directed staff to include additional notification procedures for the adoption of Comprehensive Plans and amendments.

In response, the following section has been drafted for consideration.

4.6 Comprehensive Plan and amendment notification process. OKLA. STAT. tit. 19, §863.26 requires that notice is provided for all Comprehensive Plan public hearings by one publication in a newspaper of general circulation at least fifteen (15) days prior to the date of the hearing. The Commission has established additional notification procedures to inform nearby property owners of public hearings to consider adoption of Comprehensive Plans or amendments.

Comprehensive Plan or amendment	Newspaper notice	300' radius mailing	Sign posted on the property
Concurrent with a zoning case	X	X	X*
Not concurrent with a zoning case	X	X	
Comprehensive Plan or amendment with citywide implications	X		

*Signs only posted when required by concurrent zoning application

Staff recommendation: Adopt the revised *"Policies and Procedures of the Tulsa Metropolitan Area Planning Commission."*

DRAFT

POLICIES AND PROCEDURES OF THE TULSA METROPOLITAN AREA PLANNING COMMISSION

ARTICLE 1 MEMBERSHIP AND OFFICERS

1.1 Name. The name of this Commission is the Metropolitan Area Planning Commission of Tulsa County, Oklahoma, commonly referred to as the Tulsa Metropolitan Area Planning Commission (the "Commission" or "TMAPC").

1.2 Number of Commissioners. In accordance with the provisions of OKLA. STAT. tit. 19, §863.5, the TMAPC shall consist of eleven (11) members (individually a "Commissioner"), selected as follows: Six (6) are appointed by the Mayor of the City of Tulsa and approved by the City Council, and three (3) are appointed by the Board of County Commissioners of Tulsa County. The Mayor (or a person designated by the Mayor as an alternate) and the Chairman of the Board of County Commissioners (or a person designated by the Chairman of the Board as an alternate) shall be ex officio members of the Commission and shall be entitled to vote on all matters.

1.3 Term / Vacancies / Compensation. Appointed Commissioners shall serve for terms of three (3) years, and shall continue to serve until their successors are appointed by the Mayor for City appointees or by the County Commission for County appointees. Vacancies occurring, otherwise than through the expiration of a term, shall be filled only for the unexpired term in the same manner as set out in Section 1.2 above. All appointed Commissioners shall serve without compensation and shall hold no other municipal or County office.

1.4 Removal. Once qualified, a Commissioner can thereafter be removed during such Commissioner's term of office only for cause and after a public hearing held before the governing body by which such Commissioner was appointed.

1.5 Absentees. In order to properly conduct business, Commissioners must attend as many meetings as practical. If a Commissioner fails to attend ten (10) regularly scheduled meetings (excluding work sessions) during a twelve (12) month period, the Commission may contact the appointing body to request that the Commissioner be removed and replaced.

1.6 Officers.

(a) Annually, at the first regular meeting in January, the Commission shall elect from its appointed members a Chair, a First Vice-Chair, a Second Vice Chair and a Secretary. No Commission member shall hold the same office for more than two (2) consecutive full one-year terms. Any vacancy in office shall be filled by the Chair for the unexpired term only.

(b) The duties of the Chair shall include:

(1) Presiding over meetings when present, unless the Chair designates another member to preside;

(2) Appointing Commissioners to serve on other governmental agency boards and committees;

(3) Establishing ad hoc committees as the Chair deems necessary and appointing members and chairs to those committees;

(4) Signing official documents of the Commission; and

(5) Representing the Commission before other governmental bodies, unless the Chair designates another Commissioner or a member of the TMAPC staff.

(c) The First Vice-Chair shall assume all of the duties of the Chair during the Chair's absence.

(d) The Second Vice-Chair shall assume all of the duties of the Chair during the Chair's and the First Vice Chair's absence.

(e) The Secretary shall assume all duties of the Chair in the event the Chair, First Vice-Chair and Second Vice-Chair are absent. In addition, the Secretary shall:

(1) Read the opening statement and rules of conduct prior to the public hearing portion of the agenda;

(2) Collect and stamp exhibits of each meeting for the official record; and

(3) Attest the Chair's signature on all documents.

In the event the Secretary is not present, the Chair or acting Chair may appoint another Commissioner to assume the Secretary's duties.

(f) Each of the officers named above shall be entitled to participate in discussion and vote on any question before the Commission, whether occupying the position of the Chair or not.

ARTICLE 2 MEETING PROCEDURES

2.1 Meeting Schedule and Agenda.

(a) The Commission shall meet regularly in accordance with its approved calendar, generally on the first and third Wednesday of each month in the Tulsa City Council Chambers or in another designated location.

(b) Special meetings may be called at the request of the Chair. Such meetings shall be held in the regular meeting place of the Commission or in another designated location.

(c) Items to be placed on the TMAPC agenda shall meet the cut-off dates as specified on the official TMAPC schedule. Unless authorized by the Chair or the INCOG Land Development Services Manager, new items shall not be added to the final agenda after the agenda packet is mailed to the Commission.

2.2 Notification. The Commission shall consider only public hearing items that have been properly advertised, as required by law, and only those items in which all fees have been paid, including fees for legal advertising.

2.3 General Procedures.

(a) If a meeting procedure is not addressed by these Policies and Procedures, the Chairman shall decide the procedure based on the tradition of the Commission. The Commission may by majority vote establish a procedure differing from the procedure recommended by the Chair. The Chair and the Commission may refer to any book or treatise on rules of order or parliamentary procedure for guidance.

(b) A member of TMAPC staff shall serve as TMAPC Recording Secretary. The TMAPC Recording Secretary shall keep complete minutes of all public hearings of the Commission and shall receive all District Court appeals from any Commission action.

(c) When the public wishes to communicate with members of the Commission, the most appropriate way is through letter or e-mail correspondence to the TMAPC Recording Secretary, who will deliver it to the Commissioners. If an individual wishes to speak personally with the Commissioners, the individual must call the TMAPC Recording Secretary and leave a message to that effect. TMAPC staff will not release addresses or telephone numbers of Commissioners without the approval of the particular Commissioner. Ex parte communication is discouraged. (See Section 5.3 hereof)

(d) The Commission may grant a continuance of a scheduled public hearing or other business item at the request of the applicant, TMAPC staff, or another interested party. Except for requests by TMAPC staff, a request for a continuance should be made in writing and must contain the reasons for the request. In considering the request, the Commission may consider the timeliness of the request, the reasons given for the request, and the inconvenience created.

2.4 Public Hearing Procedures.

(a) TMAPC staff recommendation on advertised matters shall be written and made part of the file (public record) five (5) days in advance of the advertised public hearing date.

(b) Commissioners shall address only the presiding Chair for recognition and shall confine their remarks to the question under debate.

(c) Any member of the public may address the Commission at a regular or special meeting after signing in for a specific item. When recognized by the Chair, a member of the public should state his or her name and address. Speakers will be given five (5) minutes to speak on an item; however, the Chair may further limit that time based on the number of speakers for an item or impose an aggregate time for all speakers.

(d) The Chair may rule a comment out of order if it is redundant, irrelevant, indecorous or untimely.

(e) The order of business for a public hearing shall be determined by the Chair; however, the following is provided as a guide:

(1) The Chair announces the application.

(2) The Chair asks TMAPC staff for a summary of the case and the physical facts of the area involved. TMAPC staff presents its recommendation, together with the reasons for the recommendation, and whether the request is in conformance with the Comprehensive Plan.

(3) The Chair calls on the applicant for a presentation, not to exceed fifteen (15) minutes for a straight zoning application or twenty (20) minutes for rezoning application to a special district (PUD, Corridor, or other) or a joint zoning/special district application. If the applicant presents a significantly changed application from that submitted for TMAPC staff review (as determined by TMAPC staff and the Commission at the time of the presentation), such action is considered grounds for continuance.

(4) The Chair calls on interested parties or protestants. Those wishing to speak must use the sign-in sheet. Each speaker is allowed five (5) minutes to speak on an item; provided, however, the Chair may further limit that time based on the number of speakers for an item or impose an aggregate time for all speakers.

(5) The applicant is given the opportunity to rebut, and is allowed no more than ten (10) minutes to speak. If the applicant, in the Chair's opinion, should present new facts or information, the Chair may allow the protestants time to rebut same.

(6) The Chair announces the public hearing is closed on the case and opens the review session, during which the Commissioners will discuss the case among themselves and make a recommendation.

(7) During the review session, which shall be open and public, no new evidence shall be admitted unless specifically requested by a member of the Commission and permitted by the Chair.

(8) The vote shall be taken and the Chair shall announce the vote.

(f) Before a motion is made, there shall be an opportunity for discussion of the case by the Commissioners and for each Commissioner to make comments. After a motion is made, there shall be further opportunity for discussion by the Commissioners, and the maker of the motion may refine the terms of the motion pursuant to such discussion. When the motion is formalized, the Chair shall restate the motion, state the name of the maker of the motion and the member seconding the motion, and call for a vote. If a Commissioner desires to amend the motion following the Chair's restatement of the motion but prior to the Chair's call for a vote, the Commissioner suggesting the amendment may ask unanimous consent to modify the motion. If any Commissioner objects to the modification of the motion, the Commissioner

proposing the amendment shall move that the motion be amended. The motion to amend must be seconded, is debatable, and must be adopted by a majority vote of the members present.

(g) The Commission shall not rehear a zoning application on the same property for a period of six (6) months after action on the application has been taken by the Commission.

(h) The transmittal of applications for a zoning map amendment to the City Council or County Commission in those instances where the applicant, TMAPC staff and Commission are all in agreement and there are no interested parties will occur following the Commission hearing without minutes. All other applications will be transmitted when the meeting minutes are drafted.

(i) A motion to reconsider an item on which a vote has been taken may be made only by a Commissioner who voted with the prevailing side and can only be heard during the same meeting where the vote was taken or the next succeeding meeting. If a motion to reconsider is adopted, the Commissioners shall consider the need for additional notice to interested persons before a vote is taken on the item being reconsidered.

2.5 Quorum and Votes Required.

(a) Six (6) Commissioners shall constitute a quorum for the conduct of any Commission business, except at work sessions where four (4) Commissioners shall constitute a quorum.

(b) A modification of the Subdivision Regulations shall require the affirmative vote of two-thirds (2/3) of the Commissioners present and voting. *See* Subdivision Regulations 1.10.4.

(c) An amendment to the Tulsa Comprehensive Plan, including the Tulsa City/County Major Street and Highway Plan, shall require six (6) affirmative votes by the Commission. *See* OKLA. STAT. tit. 19, § 863.7.

(d) Except as set forth above or as otherwise required by applicable law, any matter (zoning related or otherwise) coming before the Commission shall be decided by a majority vote of the Commissioners present.

(e) In the event the final vote on any zoning matter before the Commission results in a tie, such tie vote shall result in the matter being transmitted to the City Council or County Commission as a tie vote, without recommendation.

2.6 Work Sessions.

(a) The Commission shall meet as a committee of the whole in a work session at the call of the Chair when applicable work items or educational opportunities arise. The Chair or the Chair's designee shall preside.

(b) The purpose of the work session shall be to discuss work items and Commission issues, to share other information and determine whether work items are ready to be considered at regular TMAPC meetings. Work sessions may also be used to provide educational

opportunities and to allow Commissioners a forum to discuss various planning matters outside of their normal work items.

(c) The Commission shall take no final action on work items while in work sessions.

(d) Public comments are not allowed at work sessions unless approved by the Chair prior to the meeting. The appropriate process is for a member of the public to contact TMAPC staff (Land Development Services Manager) who will communicate the request to the Chair.

ARTICLE 3 DEVELOPMENT REVIEW POLICIES

3.1 Applications.

(a) Sufficient supporting information shall be filed with an application in order for the TMAPC staff and Commission to evaluate the proposal. If TMAPC staff concludes that sufficient supporting information has not been provided, TMAPC staff shall consider the application as incomplete and shall not place the item on the agenda.

(b) In order to help alleviate potential conflicts and assure that interested parties have adequate information, the Commission encourages applicants in zoning cases to meet with owners of property in the area prior to public hearings. Failure of the applicant to meet with the neighbors may result in a continuance by the Commission.

(c) In cases where the development plan (of a Planned Unit Development (PUD), Corridor (CO), or other development plan) that is recommended by the Commission differs from the plan that was submitted by the applicant, a revised plan reflecting the Commission's recommendation shall be prepared and submitted to the TMAPC staff for transmittal to the City Council or County Commission with the minutes of the meeting.

3.2 Zoning Initiated by TMAPC. As a general rule, the TMAPC will not initiate applications for zoning changes without the consent of the owner or his agent, unless such application is requested by the proper legislative body.

3.3 Subdivisions and Lot-Splits.

(a) As a general rule, the platting requirement for Antennas and Supporting Structures (Use Unit 4. Public Protection and Utility Facilities) and Open Air Activities (Use Unit 2. Area-Wide Special Exception Uses) shall be waived by the Commission.

(b) No lot-split applications which require modification of a provision of the Subdivision Regulations shall be processed on the consent agenda of the TMAPC. Such lot-splits shall require a ten (10) day written notice to abutting property owners (including lot owners separated only by a residential street).

3.4 Planned Unit and Corridor Developments.

(a) Applicants proposing developments using a combination of private street(s) and a variance of the required thirty feet (30') of frontage on a public street shall be required to develop their project as a PUD or Corridor Development, excepting a proposed townhouse development.

(b) The staff of the TMAPC shall review and approve, approve with conditions or deny all detail sign and landscape plans and minor revisions to previously approved detail site plans unless specifically directed by the TMAPC to present the plans to the Commission for review. Prior to approval of any detail plans, the TMAPC staff shall ascertain that the plan complies with all PUD, Corridor Development and Zoning Code provisions. If the plan does not comply with such requirements, the TMAPC staff shall approve the plan subject to conditions which bring it into compliance or deny the plan. If the applicant or interested parties disagrees with the decision of TMAPC staff, they may appeal the decision as provided for in the Zoning Code.

(c) Minor amendments to a Corridor Development Plan may be authorized by the Commission, which may direct the processing of an amended subdivision plat, incorporating such changes, so long as substantial compliance is maintained with the approved development plan and the purposes and standards of Section 805, Zoning Code, City of Tulsa. Changes that would represent a significant departure from the development plan shall require compliance with the notice and procedural requirements of an initial development plan review and approval. The following shall be considered minor amendments:

(1) Adjustment of internal development area boundaries, provided the allocation of land to particular uses and the relationship of uses within the project are not substantially altered.

(2) Limitation or elimination of previously approved uses, provided the character of the development is not substantially altered.

(3) Increases in dwelling units, provided the approved number of dwelling units is permitted by the underlying zoning and the density of a development area is not increased more than fifteen percent (15%).

(4) Increases in permitted non-residential floor area, provided the increased floor area is permitted by the underlying zoning and the floor area of a development area is not increased more than fifteen percent (15%).

(5) Modification of the internal circulation system, provided the system is not substantially altered in design, configuration or location.

(6) Changes in points of access, provided the traffic design and capacity are not substantially altered.

(7) Addition of customary accessory buildings and uses within the delineated common open space of a residential development area, including but not limited to swimming pools, cabanas, security buildings, clubhouses and tennis courts.

(8) Location of customary residential accessory buildings and uses on an adjoining single-family residential lot within a residentially developed area including but not limited to a swimming pool, cabana, garage and tennis court, provided an agreement has been recorded by the owner prohibiting the conveyance of the lot containing the accessory use separate from the conveyance of the lot containing the principal use.

(9) Changes in structure heights, building setbacks, yards, open spaces, building coverage and lot widths or frontages, provided the approved Corridor Plan, the approved Corridor Standards and the character of the development are not substantially altered.

(10) Lot-splits which modify a recorded plat and which have been reviewed and approved by the Technical Advisory Committee (TAC).

(11) Home occupations which meet the requirements of Section 404.B Home Occupations, of the Zoning Code, City of Tulsa.

(12) Modifications to approved signage, provided the size, location, number and character (type) of the sign(s) is not substantially altered.

(13) Modifications(s) to approved screening and landscaping plans, provided the modification(s) is not a substantial deviation from the original approved plan.

(14) Changes from multifamily (apartments) to duplexes, townhouses or detached single-family, thereby reducing the number of permitted dwelling units.

Ten (10) days' notice of the public hearing shall be given for minor amendments by mailing written notice to all owners of property within a three hundred foot (300') radius of the exterior boundary of the subject property.

If the Commission determines that the proposed amendment, if approved, will result in a significant departure from the approved Corridor Development Plan or otherwise change the character of the Development Plan significantly or that the cumulative effect of a number of minor amendments substantially alters the approved Development Plan, then the amendment shall be deemed a major amendment. Major amendments shall comply with the notice and procedural requirements of Section 804.C of the Zoning Code, City of Tulsa.

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ARTICLE 4
CITY OF TULSA COMPREHENSIVE PLAN

The TMAPC derives its authority to adopt and amend a comprehensive plan under the provisions of OKLA. STAT. tit. 19, § 863.7. The Comprehensive Plan of the Tulsa Metropolitan Area was originally adopted on June 29, 1960, and was subsequently amended on numerous occasions. The current Comprehensive Plan for the City of Tulsa was adopted by the TMAPC on July 6, 2010 and approved by the Tulsa City Council on July 22, 2010 and retains various small area and functional plans. The 2010 Comprehensive Plan has been and will likely continue to be amended from time to time.

4.1 Regularly Scheduled Updates and Maintenance. The Comprehensive Plan states that the Land Use Plan and Stability and Growth Map “should be updated at five year intervals with projections toward the future. Housekeeping updates and maintenance to reflect development approvals should be made annually.” (p. LU-77) TMAPC staff will establish a system to track all housekeeping amendments needed to reflect development approvals and present a Comprehensive Plan amendment to the TMAPC annually, generally in July. These annual amendments will include updates to the Land Use Plan and, if necessary, changes to the Areas of Stability and Growth Map. It is expected that City of Tulsa will prepare an update to the Comprehensive Plan in five (5) year intervals based on new data and updated projections and recommending adjustments to the Plan.

4.2 Small Area Plan Adoption process. The Comprehensive Plan outlines a process for adoption of small area plans in the Appendix, pp. 9 & 10. It generally states that when the small area plan has been drafted, following the multi-agency review and public participation process, the draft plan document will be presented to the TMAPC at a work session. At the work session, the TMAPC will review the small area plan for content and consistency with the Comprehensive Plan. Also, the TMAPC will announce if and when the document is ready for public hearing. Notice must be published at least fifteen (15) days prior to the public hearing. The TMAPC will conduct the public hearing, consider the plan based on the findings of fact and public testimony presented, and consider adoption of the small area plan as an amendment to the Comprehensive Plan. The same process and procedures shall be followed for adoption of Sector Plans (formerly known as Urban Renewal Plans).

4.3 Privately initiated Comprehensive Plan amendments.

(a) Amendments of the Comprehensive Plan Generated by Proposed Zoning Changes. During the initial review of an application to the TMAPC for approval of Zoning, PUD, Corridor Development Plan or PUD Amendment, TMAPC staff shall determine if the proposal is consistent with the Comprehensive Plan map designation. If TMAPC staff determines that the proposal is inconsistent with the Comprehensive Plan map designation, and further determines that the deviation from the purpose and intent of the Comprehensive Plan is minor in nature, the application for approval of Zoning, PUD, Corridor Development Plan or PUD Amendment shall be set for hearing by the TMAPC and, if approved, the Comprehensive Plan shall be amended to reflect the approved land use as a part of the annual housekeeping amendments. If TMAPC staff determines that the proposal is inconsistent with the Comprehensive Plan map designation, and further determines that the proposal represents a significant deviation from the purpose and intent of the Comprehensive Plan, an application to amend the Comprehensive Plan shall be required to run concurrently with the application for approval of Zoning, PUD, Corridor Development Plan or PUD Amendment. In such instance, TMAPC staff shall inform the applicant, within fifteen (15) days of receipt of the application for approval of Zoning, PUD,

Corridor Development Plan or PUD Amendment, that an application to amend the Comprehensive Plan is required and shall provide an application form for completion by the applicant. The requirement for a concurrent application for Comprehensive Plan amendment may necessitate an extended timeframe of review.

(b) Other Amendments to the Comprehensive Plan. Other amendments to the Comprehensive Plan may be initiated by the TMAPC upon request of TMAPC staff or an applicant. Should any person or entity request a text amendment of the Comprehensive Plan or a small area plan or a map amendment that pertains to property that is not under their ownership, the party requesting the amendment shall submit a Comprehensive Plan amendment application on the form provided by the TMAPC staff. The TMAPC staff shall review and present the application to the TMAPC within thirty (30) days of receipt of the application, and the TMAPC shall determine whether to initiate the requested amendment. Should the TMAPC initiate the requested amendment, the TMAPC staff shall, in coordination with City of Tulsa Planning staff, prepare a timeline for TMAPC staff review and recommendation regarding the proposal and shall submit the timeline to the TMAPC at its next scheduled meeting.

4.4 Relationship of various initiatives to the Comprehensive Plan. It is the purpose and intent that the Comprehensive Plan be a guide for many initiatives, however, few necessitate being adopted as a comprehensive plan amendment. The table below provides guidance on how various initiatives should be reviewed and/or included in the Comprehensive Plan.

Items	Adopt as an Amendment	Issue Conformance statement
Small area plans, neighborhood plans & sector plans		
Plan and Land Use Map	X	X
Goals, objectives, policies, recommendations	X	X
Major Street and Highway Plan	X	X
Other types of plans, studies & initiatives		X
Capital Improvement Plans		X

4.5 Amendments to Other Types of Plans, Studies and Initiatives. Other types of plans, studies and initiatives may necessitate a Comprehensive Plan conformance review, both at the time of their origin, as well as for future amendments. If a plan, study or initiative has been issued a statement of conformance with the Comprehensive Plan and/or adopted by the Commission, TMAPC staff will administratively review proposed amendments and review against applicable plan policies. TMAPC staff will issue an updated statement providing specific justification to support the proposed amendments if they are in fact in conformance with the Comprehensive Plan. If TMAPC staff finds proposed changes to be inconsistent with the Comprehensive Plan, a TMAPC staff report and draft statement of conformance will be developed and provided to the Commission for action.

4.6 Comprehensive Plan and amendment notification process. OKLA. STAT. tit. 19, §863.26 requires that notice is provided for all Comprehensive Plan public hearings by one publication in a newspaper of general circulation at least fifteen (15) days prior to the date of the hearing. The Commission has established additional notification procedures to inform nearby property owners of public hearings to consider adoption of Comprehensive Plans or amendments.

Comprehensive Plan or amendment	Newspaper notice	300' radius mailing	Sign posted on the property
Concurrent with a zoning case	X	X	X*
Not concurrent with a zoning case	X	X	
Comprehensive Plan or amendment with citywide implications	X		

*Signs only posted when required by concurrent zoning application

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**ARTICLE 5
CODE OF ETHICS**

5.1 Definitions.

(a) "Private benefit" means a direct or indirect benefit not shared by the general public that could be reasonably expected to impair a Commissioner's objectivity or independent judgment.

(b) "Organizational interest" exists when a Commissioner is an officer, director or board member of a company, business, or organization that takes an official position before the Commission.

(c) "Ex parte communication" means a private communication with a Commissioner from a party with an interest, financial or otherwise, in a particular matter before the Commission.

5.2 Conflict of Interest.

(a) A conflict of interest exists whenever a Commissioner:

(1) may receive a private benefit; or

(2) has an organizational interest regarding a matter before the Commission; or

(3) has any economic interest, directly or indirectly, in a matter before the Commission or in action to be taken by the Commission.

The possibility, not the actuality, of a conflict of interest governs. *The question is, "Would a reasonable person believe me to be unbiased and impartial?"*

(b) A Commissioner experiencing a conflict of interest shall declare such Commissioner's interest publicly, abstain from voting on the matter, and shall refrain from any deliberations on the matter. When possible, the Commissioner should leave the public hearing room.

(c) A Commissioner experiencing a conflict of interest shall not discuss the matter in any venue with any fellow Commissioner, TMAPC staff or other officials involved in decision making on the matter for the purpose of influencing a decision thereon.

5.3 Ex Parte Communication.

(a) Although not forbidden, ex parte communication has the potential to influence a Commissioner's decision on matters before the Commission. The Commissioner who receives ex parte communication must disclose such ex parte communication prior to or at the commencement of public discussion of the subject matter.

(b) The Commissioner shall also evaluate whether, as a result of this communication, such Commissioner can remain unbiased and impartial and should either abstain or participate accordingly. As with a potential conflict of interest, the appearance, not the actuality, of bias should govern.

5.4 Release of Information.

(a) No Commissioner or TMAPC staff member shall use or transmit to others for private benefit any information derived from Commission activities unless and until such information is made available to the public at large.

(b) No Commissioner or any person appearing before the Commission shall knowingly misrepresent facts or distort or omit information for the purpose of achieving a desired outcome.

5.5 Appearance of Commissioners at City Council.

(a) Only a Commissioner designated by the Chair shall be the official spokesperson for the Commission. The official spokesperson for the Commission shall, to the best of his or her ability, present an unbiased record of the proceedings and the decision of the Commission. The official spokesperson shall not present new facts or arguments that were not made available at the hearing before the Commission.

(b) Nothing herein would deprive a Commissioner of the right to speak at a public hearing in the Commissioner's individual capacity subject to the following. If a Commissioner chooses to speak at a public hearing, and he or she has not been designated as the spokesperson by the Chair, that Commissioner must state that:

(1) Though they are a Commissioner, they are before the City Council as an individual, and not on behalf of the Commission; and

(2) They have no authority to make representations regarding the Commission's public meetings, thought processes, or decision-making.

If a Commissioner other than the one designated by the Chair intends to speak at a public hearing on a matter upon which the Commission has previously voted, he or she must notify all members of the Commission of that intention at least twenty (24) hours prior to the public hearing.

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21.15

Date Adopted: August _____, 2015

Chairman

ATTEST:

Secretary

[Signature Page to Policies and Procedures of TMAPC]

21.14